

FERNCROFT APARTMENTS RESIDENTIAL COMMUNITY

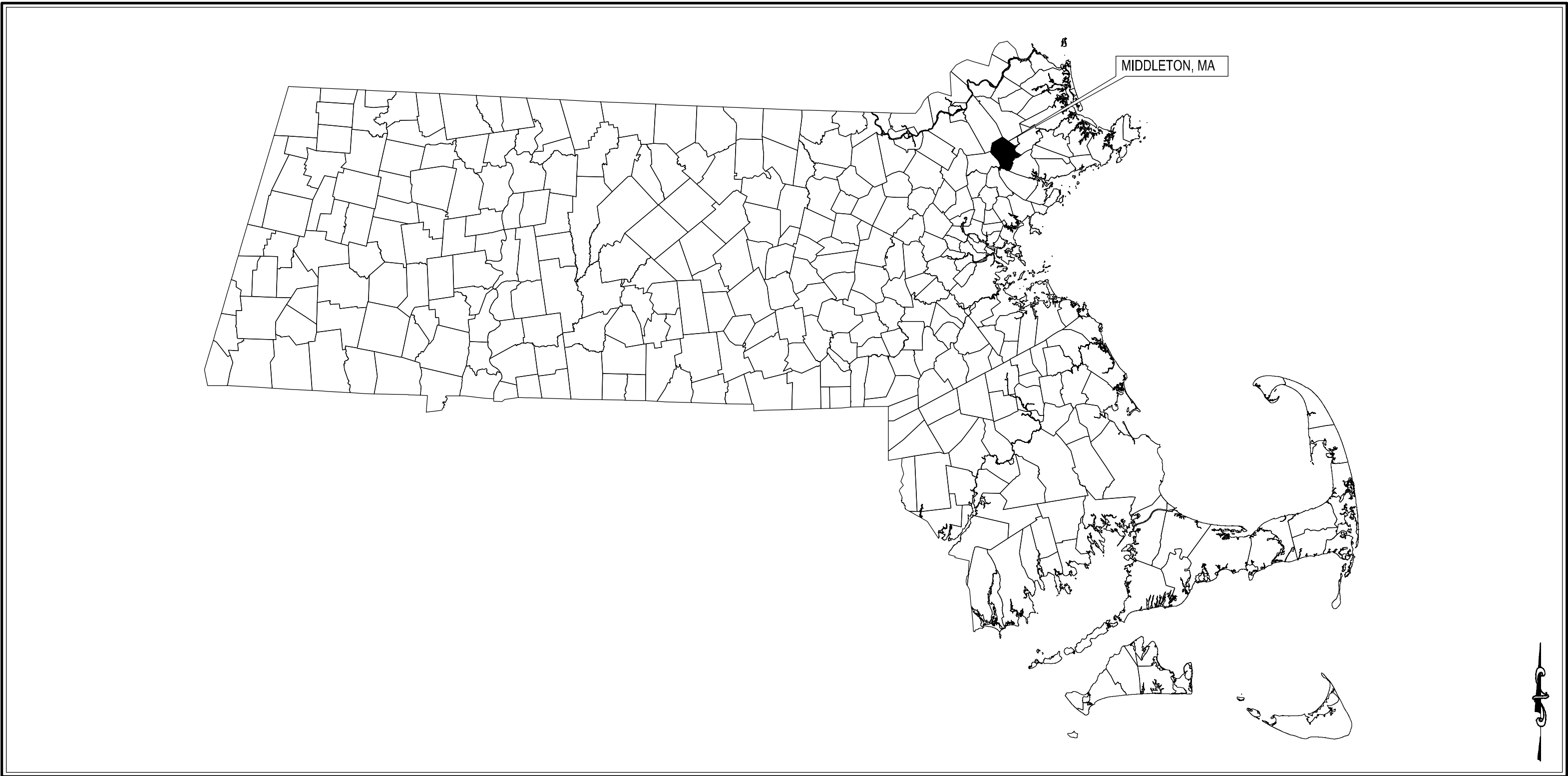
35 VILLAGE ROAD, MIDDLETON, MA 01949



Applicant:
FERNCROFT APARTMENTS, LLC
#747 THIRD AVE, 37TH FLOOR
NEW YORK, 10017

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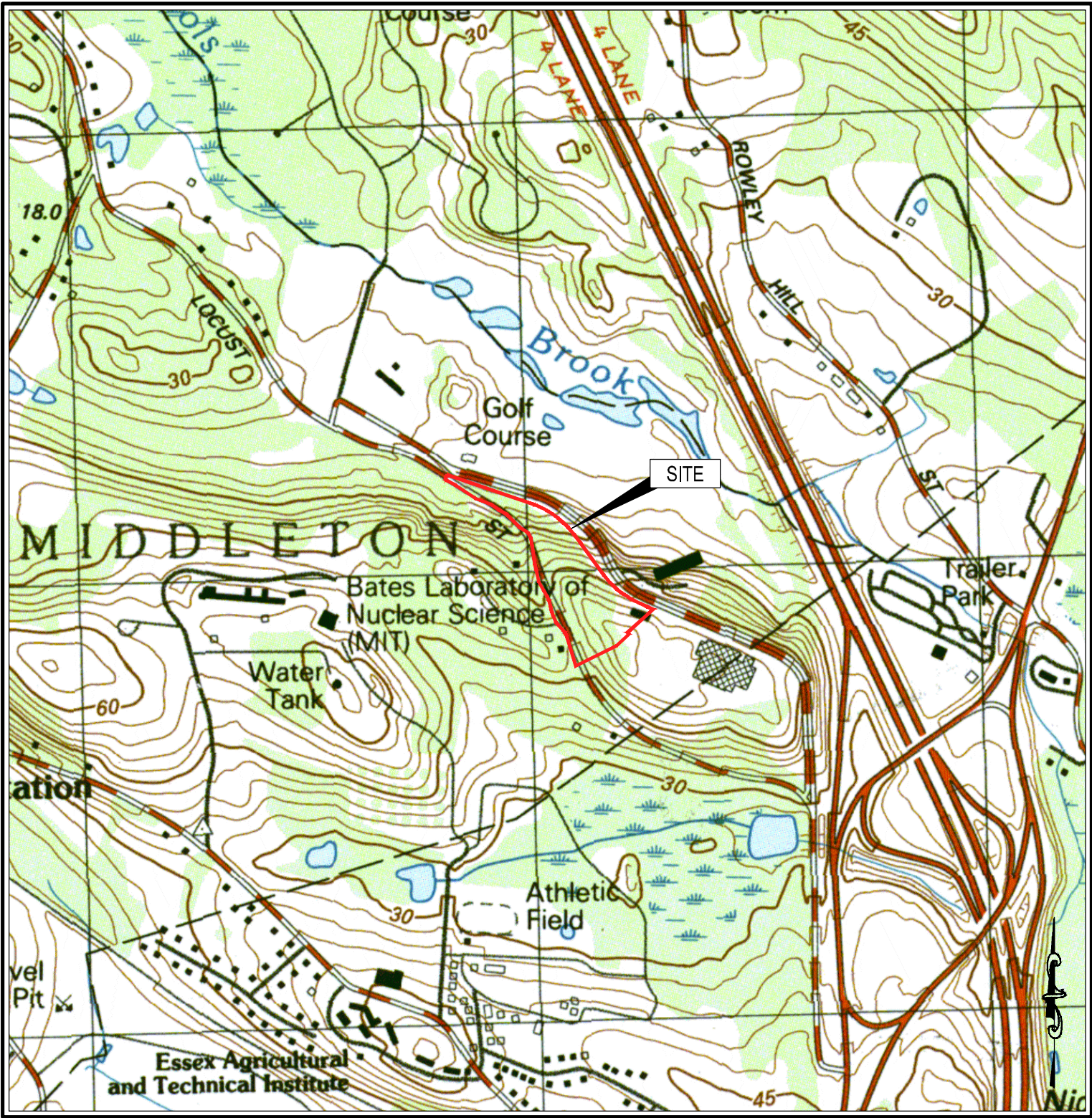
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MASSACHUSETTS MUNICIPAL MAP

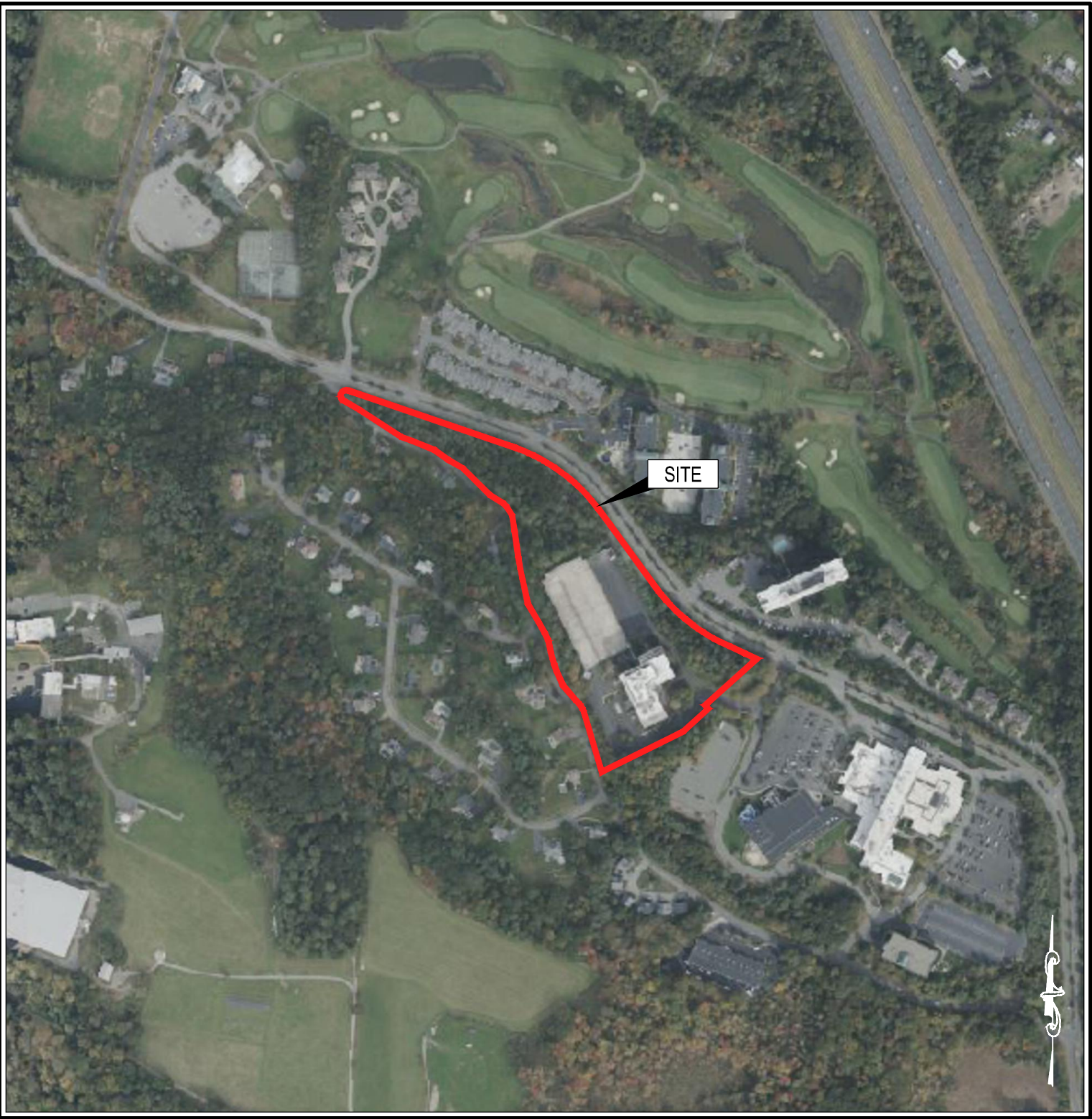
NOT TO SCALE

SITE INFORMATION	
SITE ADDRESS: #35 VILLAGE ROAD	
MAP NUMBER	21
LOT	5
LAND OWNER:	FERNCROFT, LLC
OWNER ADDRESS:	#780 THIRD AVE, SUITE 2201 NEW YORK, NEW YORK 10017
PARCEL AREA:	12.5± ACRES
ZONING:	INTERSTATE HIGHWAY BUSINESS (IH) & RESIDENTIAL DISTRICT (40,000 s.f.) R-1b (R-1b)



SITE LOCUS MAP

1" = 1,000'



SITE AERIAL MAP

1" = 500'

REV #	DESCRIPTION	DATE



Issued For:	COMPREHENSIVE PERMIT PLAN (NOT FOR CONSTRUCTION)	Drawn By:	JG
Reviewed By:	EBL	Approved By:	AMC
Issued Date:	12/19/2025	Job No:	ENG25-0131
Drawing Title:	COVER SHEET	Sheet Number:	G000

GENERAL NOTES

1.

TOPOGRAPHIC INFORMATION DEPICTED HEREON WAS TAKEN FROM A PLAN ENTITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY" BY CONTROL POINTS ASSOCIATES DATED OCTOBER 21, 2025.
2.

ALL BIDDERS ARE REQUIRED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID, AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE CONSTRUCTION.
3.

LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION.
4.

WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
5.

THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER.
6.

CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
7.

ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
8.

ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
9.

ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
10.

ALL WORK SHOWN ON THE PLANS AS BOLD SHALL REPRESENT PROPOSED WORK. THE TERM "PROPOSED (PROP)" INDICATES WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET (R&R)", OR REMOVE, RELOCATE, RESET, (R,R&R).
11.

ALL KNOWN EXISTING STATE, COUNTY AND TOWN LOCATION LINES AND PRIVATE PROPERTY LINES HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND ARE INDICATED ON THE PLANS.
12.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, THE ERECTION OF TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
13.

THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
14.

FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.
15.

EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
16.

TREES AND SHRUBS WITHIN THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON THE APPROVAL OF THE ENGINEER OR AS NOTED ON THE PLANS.
17.

THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER PRIOR TO EXCAVATION.
18.

NO FILLING SHALL OCCUR AROUND EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER REPRESENTATIVE.
19.

THE CONTRACTOR SHALL REMOVE ALL SURFACE VEGETATION PRIOR TO GRADING THE SITE. STUMPS SHALL BE STOCKPILED ON SITE FOR DISPOSAL BY THE GC. TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS (INCLUDING SILT FENCE, STRAW WATTLES, OR SILT SOCKS) SHALL BE INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE PROJECT WHICH COST SHALL BE INCIDENTAL TO THE PROJECT.
20.

ALL UNSUITABLE UNCONTAMINATED EXCESS SOIL FROM CONSTRUCTION ACTIVITIES SHALL BE STOCKPILED ON SITE, AS DIRECTED BY THE OWNER, AT NO ADDITIONAL COST TO THE OWNER. REMOVAL ACTIVITIES SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AT NO ADDITIONAL COST TO THE OWNER. SUITABLE SOIL EXCAVATION AS PART OF THE PROJECT MUST MEET ONE OR MORE OF THE MATERIAL REQUIREMENTS SPECIFIED IN THE GEOTECHNICAL REPORT. ON-SITE FILL MATERIALS, WHICH DO NOT CONFORM TO THE GEOTECHNICAL REPORT, SHALL NOT BE USED BELOW ANY STRUCTURES. IF THE CONTRACTOR PROPOSES TO USE THE EXISTING FILL ON SITE BELOW PAVEMENT AREAS, HE MUST DEMONSTRATE THAT THE FILL MEETS THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. ALL EXCAVATED FILL MATERIAL WHICH DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT NO ADDITIONAL COST.
21.

CONTRACTOR IS RESPONSIBLE FOR STAKING CONSTRUCTION BASELINES IN FIELD. NO CONSTRUCTION WILL BE PERFORMED WITHOUT THE PROPOSED BASELINES AND LAYOUTS APPROVED BY THE ENGINEER.
22.

NO FILL SHALL CONTAIN HAZARDOUS MATERIALS.
23.

CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND PERIMETER OF WORK AREA (LIMIT OF WORK). FENCE SHALL NOT IMPEDE TRAVEL WAYS.
24.

ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO SUBMITTING BID.
25.

ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES INCLUDING, BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
26.

CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
27.

THE CONTRACTOR SHALL KEEP ALL STREETS, PARKING LOTS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOK CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.
28.

CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER.
29.

CONTRACTOR SHALL DEWATER AS NECESSARY TO PERFORM THE PROPOSED WORK. CONTRACTOR SHALL BE AWARE OF PERCHED GROUNDWATER, (SEE GEOTECHNICAL REPORT).
30.

THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.
31.

DEEP SUMP CATCH BASINS AND STORMWATER BASIN SHALL BE CLEANED FOLLOWING CONSTRUCTION AND SHALL FOLLOW THE OPERATION AND MAINTENANCE PLAN THEREAFTER.
32.

HAULING OF EARTH MATERIALS TO AND FROM THE SITE SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY.
33.

ANY BOULDERS 3 CY OR SMALLER SHALL BE CONSIDERED UNDOCUMENTED FILL AND SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER.
34.

WORK ON SATURDAYS SHALL ONLY BE CONDUCTED IF PRIOR WRITTEN PERMISSION IS PROVIDED BY THE TOWN.
35.

THE TERM "AS DIRECTED" AS USED IN THE CONTRACT DRAWINGS SHALL BE REPLACED WITH "AS REQUIRED".

LAYOUT & MATERIALS NOTES

1.

COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
2.

ALL WORK SHALL BE PERFORMED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED THAT THE WORK WILL BE PERFORMED "BY OTHERS".
3.

THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
4.

THE LAYOUT OF ALL NEW PATHWAYS / WALKWAYS AND THE GRADING OF ALL SLOPES AND CROSS SLOPES SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS RULES AND REGULATIONS FOR HANDICAP ACCESS CMR 921, AND THE AMERICANS WITH DISABILITIES ACT (ADA), TITLE 3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REQUIRED.
5.

ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSETS NOTED.
6.

ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
7.

ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT. SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AT POINT OF CONNECTION. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
8.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
9.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.
10.

THE DEPTH OF LOAM BORROW FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.
11.

ALL REFERENCES TO LOAM AND SEED (L&S) REFER TO HYDOMULCH SEEDED LAWN.
12.

REFER TO DETAIL DRAWINGS FOR CONSTRUCTION DETAILS.

EROSION AND SEDIMENT CONTROL NOTES

1.

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO PLAN FOR APPROXIMATE LOCATION OF EROSION AND SEDIMENT CONTROL. REFER TO SPECS AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
2.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
3.

CONTRACTOR SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. AND THE TOWN OF MIDDLETON WETLAND BYLAW FOR SEDIMENT AND EROSION CONTROL.
4.

EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
5.

ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF CONTRACT SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION.
6.

EROSION CONTROL BARRIERS TO BE INSTALLED AT THE TOE OF SLOPES. SEE SITE PREPARATION PLAN, NOTES, DETAILS AND SPECIFICATIONS.
7.

ANY AREA OUTSIDE THE PROJECT LIMIT THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
8.

THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
9.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC/PRIVATE ROADS.

GRADING, UTILITIES & DRAINAGE NOTES

1.

ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF MIDDLETON.
2.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
3.

ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED GRAVEL SURFACE MEETS EXISTING SURFACE, BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES AND MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NEW IMPROVEMENTS.
4.

CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE (1.5% MINIMUM) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
5.

CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCHED TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
6.

ALL NEW WALKWAYS / ACCESS PATHS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF PERCENT (1.5%) AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 5% MAX.
7.

MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
8.

ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
9.

THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
10.

EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
11.

WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
12.

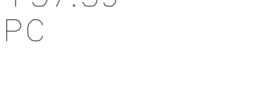
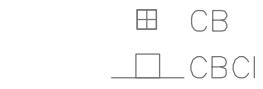
WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
13.

RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
14.

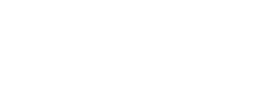
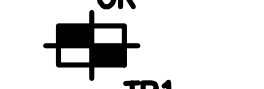
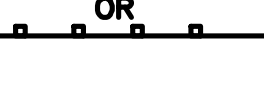
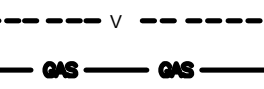
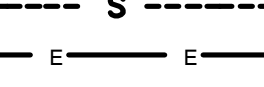
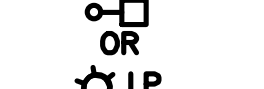
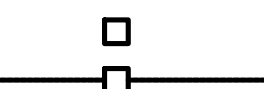
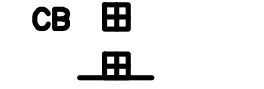
THE CONCRETE SWALE ON THE SOUTH SIDE OF VILLAGE ROAD TO BE INSPECTED AND REPAIRED AS NEEDED. ALL VEGETATION TO BE REMOVED FROM THE SWALE.

GENERAL SYMBOLS

EXISTING



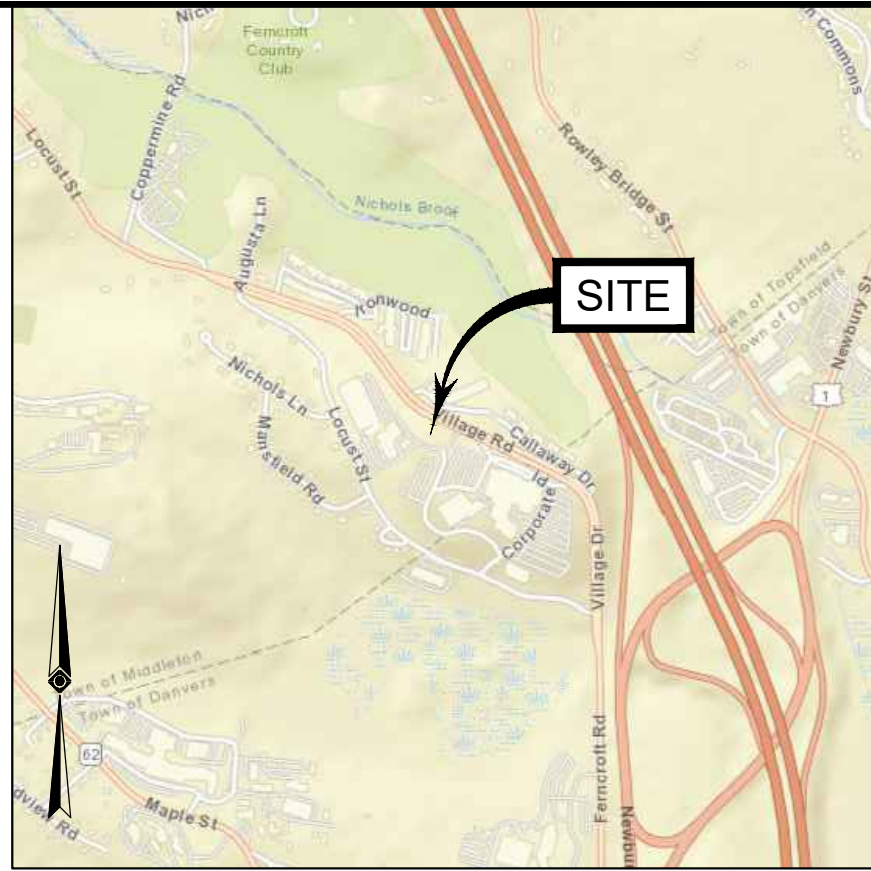
PROPOSED



$R=20.00'$
 $\Delta=168^{\circ}30'25''$
 $L=58.82'$
 $CHB=N24^{\circ}17'49''E$
 $CHD=39.80'$

REFERENCES:

- THE TAX ASSESSOR'S MAP OF TOWN OF MIDDLETON, ESSEX COUNTY, MAP 21.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ESSEX COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 401 OF 600", MAP NUMBER 2500900401G, MAP REVISED JULY 8, 2025.
- MAP ENTITLED "ALTA / ACSM LAND TITLE SURVEY, 35 VILLAGE ROAD, MIDDLETON, MA," PREPARED BY FELDMAN LAND SURVEYORS, DATED JUNE 1, 2001.
- MAP ENTITLED "PLAN OF LAND IN MIDDLETON, MA," PREPARED BY JOHN J. DECOULOS, DATED MAY 1, 1974, RECORDED WITH ESSEX COUNTY REGISTRY OF DEEDS AS PLAN BOOK 131, PLAN 61.
- MAP ENTITLED "DEFINITIVE PLAN "FERNCROFT VILLAGE" MIDDLETON, MA," PREPARED BY HAYES ENGINEERING, INC., DATED MAY 5, 1986, LAST REVISED JANUARY 27, 1987, RECORDED WITH ESSEX COUNTY REGISTRY OF DEEDS AS PLAN BOOK 245, PLAN 69.
- MAP ENTITLED "PLAN OF LAND MIDDLETON, MA," PREPARED BY RUSSELL A. WHEATLEY, CO., INC. LAND SURVEYORS & ENGINEERS, DATED MAY 9, 1988, RECORDED WITH ESSEX COUNTY REGISTRY OF DEEDS AS PLAN BOOK 245, PLAN 70.
- MAP ENTITLED "PLAN OF LAND MIDDLETON, MA," PREPARED BY RUSSELL A. WHEATLEY, CO., INC. LAND SURVEYORS & ENGINEERS, DATED MARCH 17, 1989, RECORDED WITH ESSEX COUNTY REGISTRY OF DEEDS AS PLAN BOOK 318, PLAN 23.
- MAP ENTITLED "RECORD CONDITIONS PLAN OF LAND LOCATED IN MIDDLETON, MA," PREPARED BY MERIDIAN ASSOCIATES, INC., DATED AUGUST 20, 2003, TWO SHEETS.
- UNDERGROUND GAS MAPPING PROVIDED BY NATIONAL GRID.



VICINITY MAP
© 2022 ESRI WORLD LIGHT GRAY CANVAS
(NOT TO SCALE)

NOTES:

- PROPERTY KNOWN AS LOT 5 AS SHOWN ON THE TOWN OF MIDDLETON, ESSEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 21.
- AREA = 547,595 SQUARE FEET OR 12.571 ACRES.
- LOCATION OF UNDERGROUND UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES, BEFORE ANY EXCAVATION IS TO BEGIN. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ANY OR ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:

- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
- QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

- THIS PLAN IS BASED ON A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. (THE SURVEYOR). INFORMATION PROVIDED BY THE CLIENT AND OTHER REFERENCE MATERIAL AS LISTED HEREON, CHANGES TO THE PROPERTY AFTER THE FIELD DATE ARE NOT THE RESPONSIBILITY OF THE SURVEYOR.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS IMPORTANT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO CONVEYANCE AND THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY. BOUNDARY AND EASEMENT LINES ARE BASED UPON AVAILABLE DOCUMENTATION AT THE TIME OF SURVEY AND ARE SUBJECT TO SAID TITLE REPORT.

THIS SURVEY DOES NOT ADDRESS OWNERSHIP AND POSSIBLE RIGHTS OF ADJOINING PROPERTIES.

THIS SURVEY IS THE OPINION OF THE SURVEYOR AND IS NOT A LEGAL DECISION REGARDING PROPERTY BOUNDARY OR RIGHTS.

- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS OF MINIMAL FLOOD HAZARD), PER REF. #2.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY. SURVEY DOES NOT ADDRESS ENVIRONMENTAL CONDITIONS OR LAND SUITABILITY.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS/IGNSS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCHMARKS SET:
TBM-A: X-CUT SET IN BOLT OVER MAIN OUTLET OF FIRE HYDRANT, ELEVATION= 175.00'
TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 158.12'
- SEVEN (7) DAYS PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SURVEY HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED.
ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION. SURVEYOR IS NOT RESPONSIBLE FOR CONTRACTOR'S FAILURE TO COMPLY.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- ANY DISCREPANCIES FOUND ON THE SURVEY SHOULD BE REPORTED TO THE SURVEYOR IMMEDIATELY.
- THIS SURVEY WAS PREPARED FOR THE CLIENT, WESTON & SAMPSON AND INTENDED ONLY FOR THE USE BY THE CLIENT AS CONTRACTED FOR THE PROJECT AND THE PURPOSE ORIGINALLY INTENDED. NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED HEREON SHALL RELY ON IT FOR ANY PURPOSE.
- PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
- PLANIMETRIC AND TOPOGRAPHIC FEATURES WERE COMPILED BY CONTROL POINT ASSOCIATES, INC. FROM UAS DATA COLLECTED ON 09/19/2025. THE DATASET WAS TESTED TO MEET ASPRS POSITIONAL ACCURACY STANDARDS FOR DIGITAL GEOSPATIAL DATA, EDITION 2, VERSION 2 (2024) FOR A 5 CM RMSE/H HORIZONTAL, 5 CM RMSE/V NON-VEGETATED VERTICAL, AND 15 CM RMSE/V VEGETATED VERTICAL ACCURACY CLASSES. ACTUAL ACCURACY WAS FOUND TO BE RMSE/H = 5(CM), RMSE/V NON-VEG = 4(CM), AND RMSE/V VEG = 10(CM), BASED ON 8 CHECKPOINTS. SUPPLEMENTAL GROUND SURVEY CONDUCTED ON 09/29/2025.

1	UPDATED PER ADDITIONAL TOPOGRAPHY & INVERTS	J.S.A.	R.A.B.	G.L.H.	12-8-2025
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

FIELD DATE 09-19-2025 09-18-2025	FIELD BOOK NO. 29-05-MA 25-06-MA	FIELD BOOK PG. 5	FIELD SHEET 153
BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY WESTON & SAMPSON 35 VILLAGE ROAD MAP 21, LOT 5 TOWN OF MIDDLETON, ESSEX COUNTY COMMONWEALTH OF MASSACHUSETTS			

FIELD CREW J.D.O. B.S.B.	DRAWN R.A.B.	REVIEWED R.J.K.	APPROVED G.L.H.	DATE 10-21-2025	SCALE 1" = 80'	FILE NO. 03-250120-00	SHEET 1 OF 3
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THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

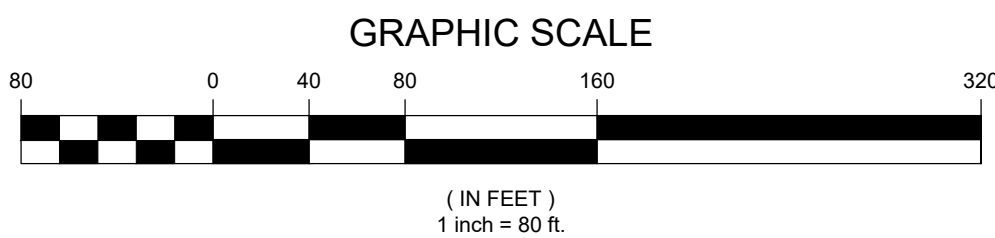
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MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

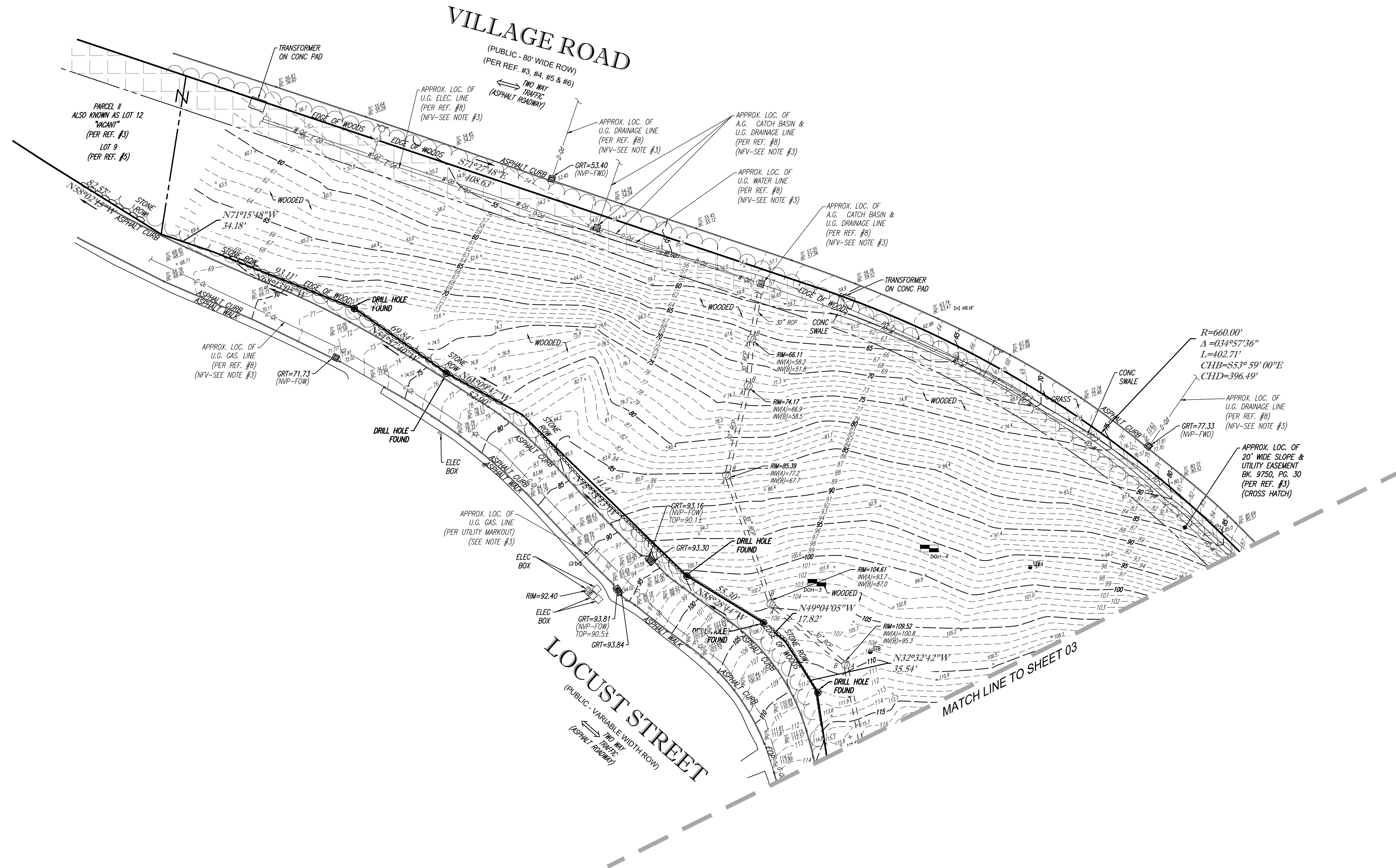
12-8-2025
DATE

SEE SHEETS 2 & 3 OF 3 FOR SITE FEATURES & TOPOGRAPHY



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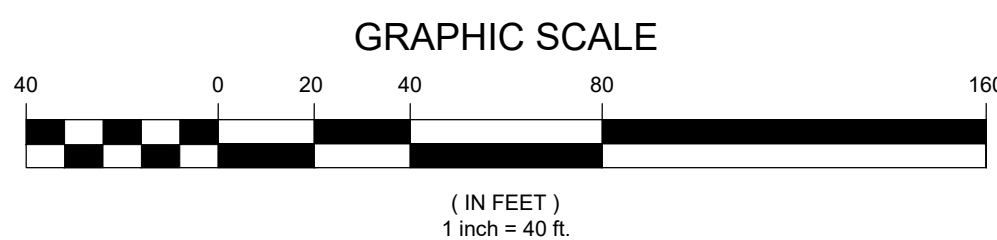
LEGEND	
---	EXISTING CONTOUR
X	EXISTING SPOT ELEVATION
X TC	EXISTING TOP OF CURB ELEVATION
X BC	EXISTING BOTTOM OF CURB ELEVATION
X TW	EXISTING TOP OF WALL ELEVATION
X BW	EXISTING BOTTOM OF WALL ELEVATION
HY	HYDRANT
WV	WATER VALVE
PV	PRESSURE INDICATOR VALVE
UV	UNKNOWN VALVE
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
D	APPROX. LOC. UNDERGROUND DRAINAGE LINE
W	APPROX. LOC. UNDERGROUND WATER LINE
S	SIGN
AL	AREA LIGHT
B	BOLLARD
PA	PAINTED ARROWS
MR	METAL GUIDE RAIL
MH	UNKNOWN MANHOLE
DMH	DRAINAGE/STORM MANHOLE
CB	CATCH BASIN OR INLET
PC	PARKING SPACE COUNT
1.0'	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
UG	UNDER GROUND
EC	EDGE OF CONCRETE
EP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
FW	FULL OF WATER
FD	FULL OF DEBRIS
NVP	NO VISIBLE PIPE
EL	ELEVATION
PVC	POLYVINYL CHLORIDE PIPE
CPP	CORRUGATED PLASTIC PIPE
INV	INVERT ELEVATION
GRT	GRATE ELEVATION
SWL	SOLID WHITE LINE
-G	SUBSURFACE UTILITY QUALITY LEVEL D
SGC	SLOPE GRANITE CURB
VGC	VERTICAL GRANITE CURB
STB	SOIL TEST BORING

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SEE SHEET 1 OF 3 FOR NOTES AND REFERENCES



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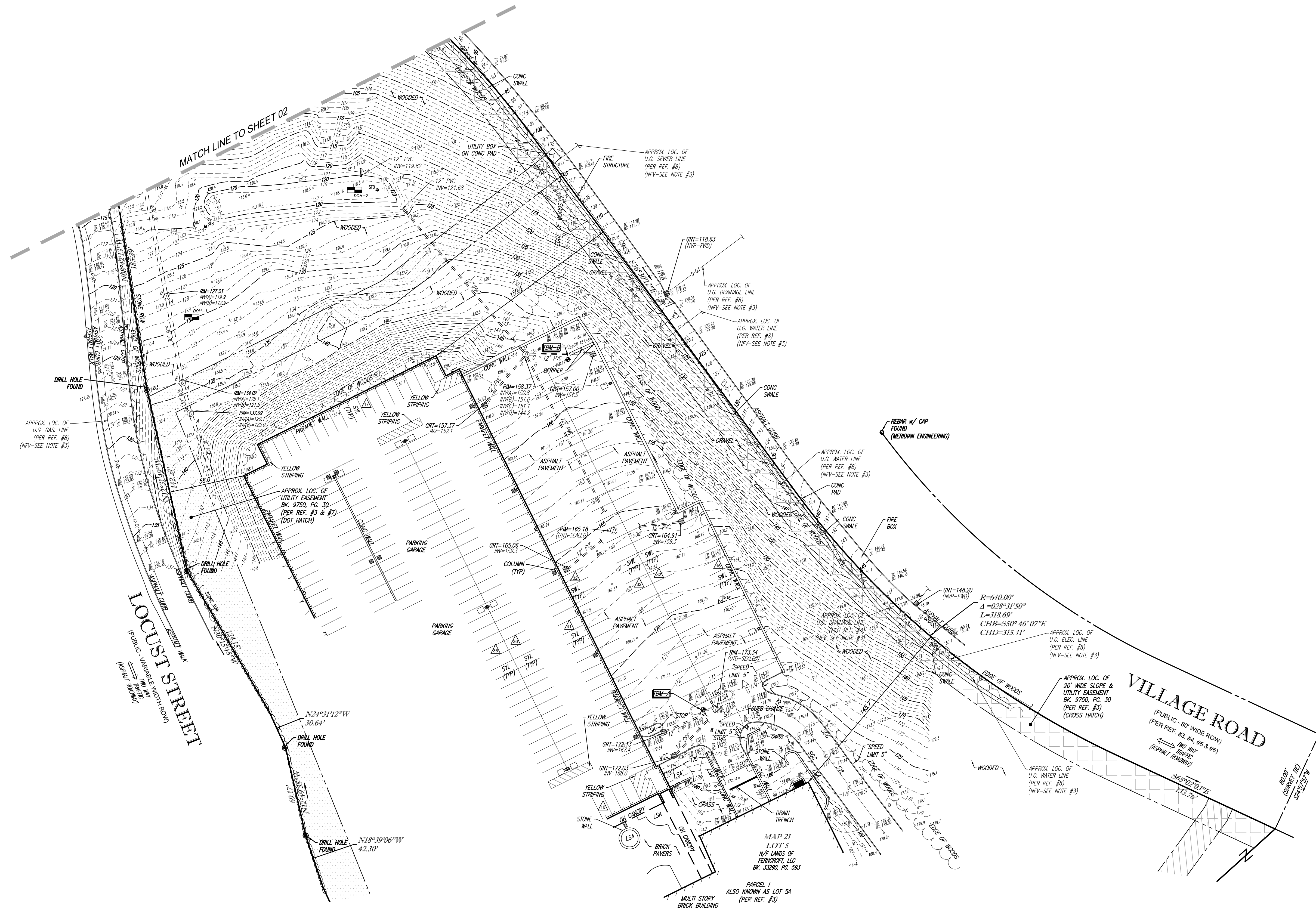
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MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



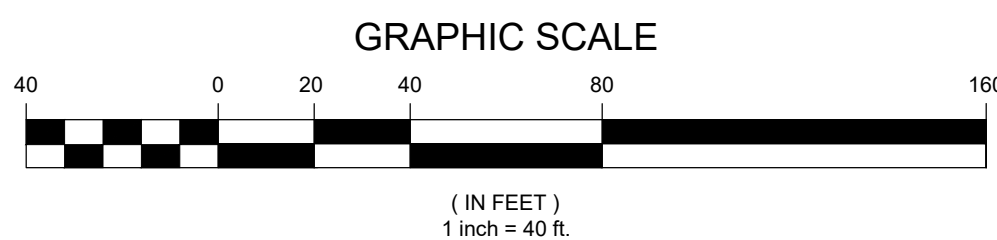
12-8-2025
DATE

1	UPDATED PER ADDITIONAL TOPOGRAPHY & INVERTS	J.S.A.	R.A.B.	G.L.H.	12-8-2025
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
1	FIELD DATE 09-19-2025 09-18-2025	FIELD CREW J.D.O. B.S.B.	DRAWN R.A.B.	APPROVED G.L.H.	DATE 10-21-2025
2	FIELD BOOK NO. 29-05-MA 25-06-MA	FIELD BOOK PG. 5	FIELD BOOK PG. 153	FIELD CREW J.D.O. B.S.B.	DATE 10-21-2025
3	BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY WESTON & SAMPSON 35 VILLAGE ROAD MAP 21, LOT 5 TOWN OF MIDDLETON, ESSEX COUNTY COMMONWEALTH OF MASSACHUSETTS	FIELD CREW J.D.O. B.S.B.	DRAWN R.A.B.	APPROVED G.L.H.	DATE 10-21-2025
4	CONTROL POINT ASSOCIATES, INC. 35 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.945.3000 WWW.CPASURVEY.COM	FIELD CREW J.D.O. B.S.B.	DRAWN R.A.B.	APPROVED G.L.H.	DATE 10-21-2025
5	WARREN, NJ 08060-0001 NEW YORK, NY 10001-0001 NEW JERSEY, NJ 07001-0001 MASSACHUSETTS, MA 01801-0001 LOUISIANA, LA 70001-0001 ALABAMA, AL 35001-0001 ARKANSAS, AR 72001-0001 CALIFORNIA, CA 90001-0001 FLORIDA, FL 32001-0001 GEORGIA, GA 30001-0001 ILLINOIS, IL 60001-0001 INDIANA, IN 46001-0001 IOWA, IA 50001-0001 KANSAS, KS 66001-0001 KY, KY 40001-0001 LA, LA 70001-0001 MA, MA 01001-0001 MD, MD 21001-0001 ME, ME 04001-0001 MI, MI 48001-0001 MN, MN 55001-0001 MO, MO 64001-0001 NE, NE 68001-0001 NH, NH 03001-0001 NJ, NJ 07001-0001 NM, NM 87001-0001 NV, NV 89001-0001 NY, NY 10001-0001 OH, OH 43001-0001 OK, OK 73001-0001 OR, OR 97001-0001 PA, PA 19001-0001 RI, RI 02001-0001 SC, SC 29001-0001 SD, SD 57001-0001 TN, TN 37001-0001 TX, TX 75001-0001 UT, UT 84001-0001 VA, VA 22001-0001 VT, VT 05001-0001 WA, WA 98001-0001 WI, WI 53001-0001 WY, WY 82001-0001	FIELD CREW J.D.O. B.S.B.	DRAWN R.A.B.	APPROVED G.L.H.	DATE 10-21-2025
6	SCALE 1" = 40'	FILE NO. 03-250120-00	SHEET 2 OF 3	DATE 10-21-2025	DATE 10-21-2025



LEGEND	
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	EXISTING TOP OF CURB ELEVATION
---	EXISTING BOTTOM OF CURB ELEVATION
---	EXISTING TOP OF WALL ELEVATION
---	EXISTING BOTTOM OF WALL ELEVATION
---	HYDRANT
---	WATER VALVE
---	PRESSURE INDICATOR VALVE
---	UNKNOWN VALVE
---	APPROX. LOC. UNDERGROUND ELECTRIC LINE
---	APPROX. LOC. UNDERGROUND DRAINAGE LINE
---	APPROX. LOC. UNDERGROUND WATER LINE
---	SIGN
---	AREA LIGHT
---	BOLLARD
---	PAINTED ARROWS
---	METAL GUIDE RAIL
---	UNKNOWN MANHOLE
---	DRAINAGE/STORM MANHOLE
---	CATCH BASIN OR INLET
---	PARKING SPACE COUNT
---	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
---	UNDER GROUND
---	EDGE OF CONCRETE
---	EDGE OF PAVEMENT
---	LANDSCAPED AREA
---	FULL OF WATER
---	FULL OF DEBRIS
---	NO VISIBLE PIPE
---	ELEVATION
---	POLYVINYL CHLORIDE PIPE
---	CORRUGATED PLASTIC PIPE
---	INVERT ELEVATION
---	GRATE ELEVATION
---	SOLID WHITE LINE
---	SUBSURFACE UTILITY QUALITY LEVEL D
---	SLOPE GRANITE CURB
---	VERTICAL GRANITE CURB
---	SOIL TEST BORING

SEE SHEET 1 OF 3 FOR NOTES AND REFERENCES



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NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL



12-8-2025
DATE

GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

1	UPDATED PER ADDITIONAL TOPOGRAPHY & INVERTS	J.S.A.	R.A.B.	G.L.H.	12-8-2025
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1	FIELD DATE 09-19-2025 09-18-2025				
2	FIELD BOOK NO. 29-05-MA 25-06-MA				
3	FIELD BOOK PG. 5				
4	FIELD CREW J.D.O. B.S.B.				
5	DRAWN: R.A.B.				
6	REVIEWED: R.J.K.				
7	APPROVED: G.L.H.				
8	DATE 10-21-2025				
9	SCALE 1" = 40'				
10	FILE NO. 03-250120-00				
11	SHEET 3 OF 3				

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
WESTON & SAMPSON
35 VILLAGE ROAD
MAP 21, LOT 5
TOWN OF MIDDLETON, ESSEX COUNTY
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.
508.945.3000
WWW.CPASURVEY.COM

WARREN, NJ 08063-0001
134 EASTERN PK. 3RD FLOOR
MT. LAUREL, NJ 08056-2000
MANASSAS, VA 20108-0001
ALBANY, NY 12212-0001
BROOKFIELD, MA 01507-0001
PITTSBURGH, PA 15212-0001
HOLBROOK, MA 01901-0001
P.O. BOX 1000, MA 01901-0001

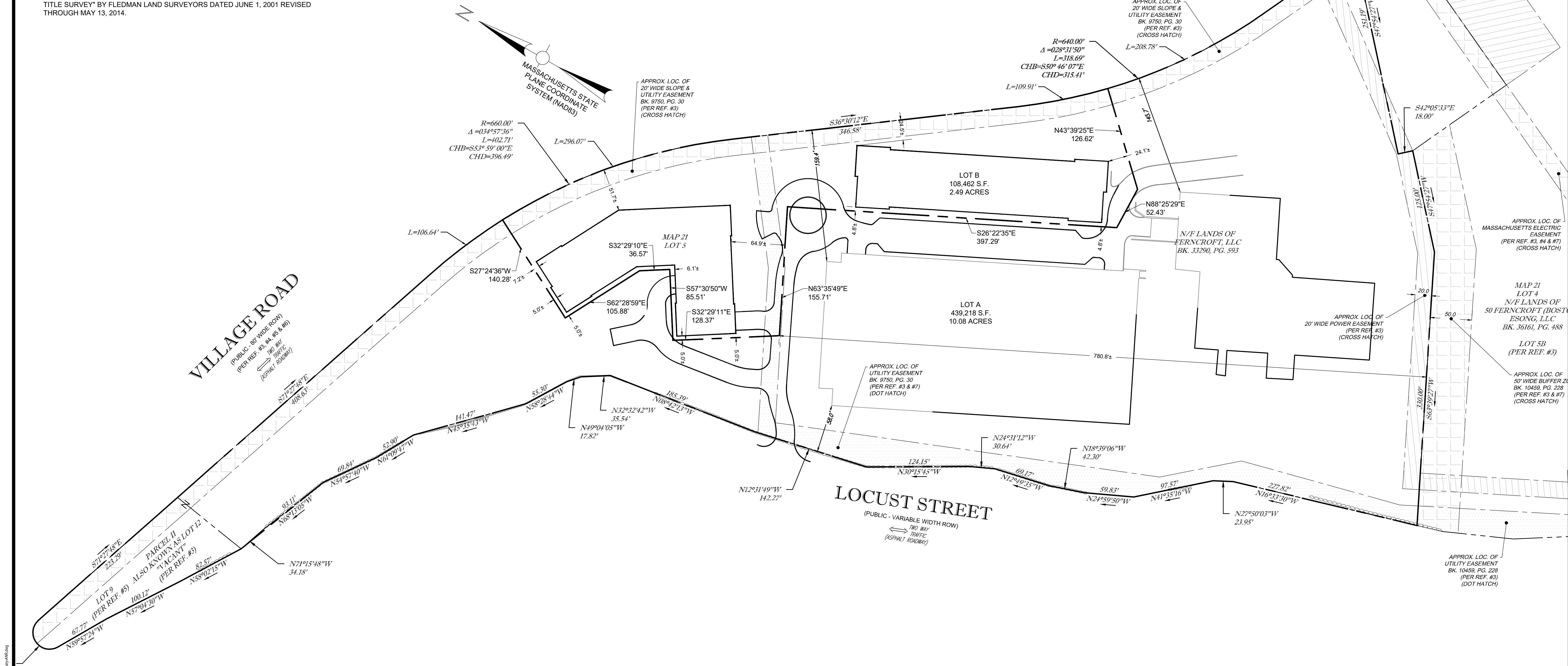


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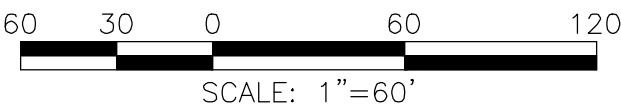
Zoning Table Developed Lot		
	Required	Proposed
Lot Area	160,000 S.F.	439,218 S.F.
Frontage	400 Ft.	1,753.67 Ft. (Locust St)
Min. Lot Width Through Dwelling	400 Ft.	780.8 Ft.
Min Lot Width Between Principal Structure and Frontage	75% Width (300 Ft.)	780.8 Ft.
Setback Main Bldg.		
Front	50 Ft.	146.1 Ft.*
Side	50 Ft.	51.5 Ft.
Rear	50 Ft.	--
Setback Garage		
Front	50 Ft.	58.0 Ft.
Side	50 Ft.	51.5 Ft.
Rear	50 Ft.	51.5 Ft.
Lot Coverage Bldg.	25%	23±%*
Max. Bld. Ht.	125 Ft.	107.0*
Max. Bld. Stories	None	8*

Zoning Table Proposed Lot		
	Required	Proposed
Lot Area	160,000 S.F.	108,462 S.F.
Frontage	400 Ft.	752.56 Ft. (Village Rd)
Min. Lot Width	400 Ft.	129.10 Ft.
Setback Bldg. A		
Front	50 Ft.	24.5 Ft.
Side	50 Ft.	24.1 Ft.
Rear	50 Ft.	4.8 Ft.
Setback Bldg. B		
Front	50 Ft.	51.7 Ft.
Side	50 Ft.	5.0 Ft.
Rear	50 Ft.	5.0 Ft.
Lot Coverage Bldg.	25%	39±%
Max. Bld. Ht.	125 Ft.	67 Ft.
Max. Bld. Stories	None	5

* - DENOTES INFORMATION TAKEN FROM AN ALTA PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY" BY FLEDMAN LAND SURVEYORS DATED JUNE 1, 2001 REVISED THROUGH MAY 13, 2014.



- NOTES:
- THE PURPOSE OF THIS PLAN IS FOR GENERAL DISCUSSION AS IT RELATES TO THE COMPREHENSIVE PERMIT.
 - A PLAN STAMPED BY A LICENSED SURVEYOR WILL BE PROVIDED PRIOR TO THE ISSUANCE OF THE COMPREHENSIVE PERMIT.



Project:
FERNCROFT APARTMENTS
RESIDENTIAL COMMUNITY
35 VILLAGE ROAD
MIDDLETON, MA 01949

Weston & Sampson
Weston & Sampson Engineers, Inc.
55 Walkers Brook Drive, Suite 100
Reading, MA 01867
978.532.1900 800.SAMPSON
www.westonandsampson.com

Consultants:		

Revisions:		
No.	Date	Description

COA:

Seal:

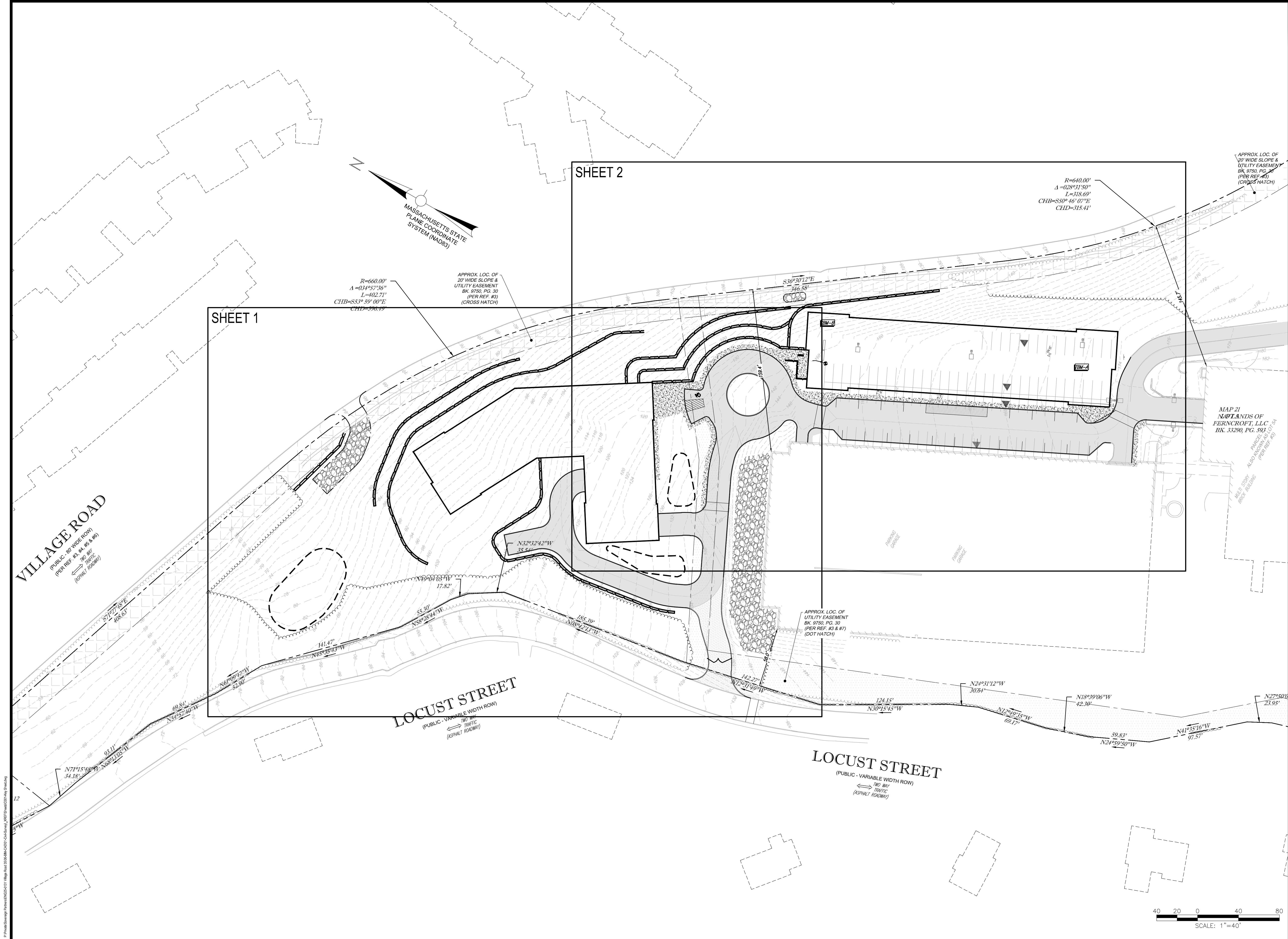
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Scale: AS SHOWN

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Drawn By: JG
Reviewed By: EBL
Approved By: AMC
W&S Project No.: ENG25-0131
W&S File No.:

Drawing Title:
PRELIMINARY
LOTTING PLAN

Sheet Number:
V101



Project:
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RESIDENTIAL COMMUNITY
35 VILLAGE ROAD
MIDDLETON, MA 01949

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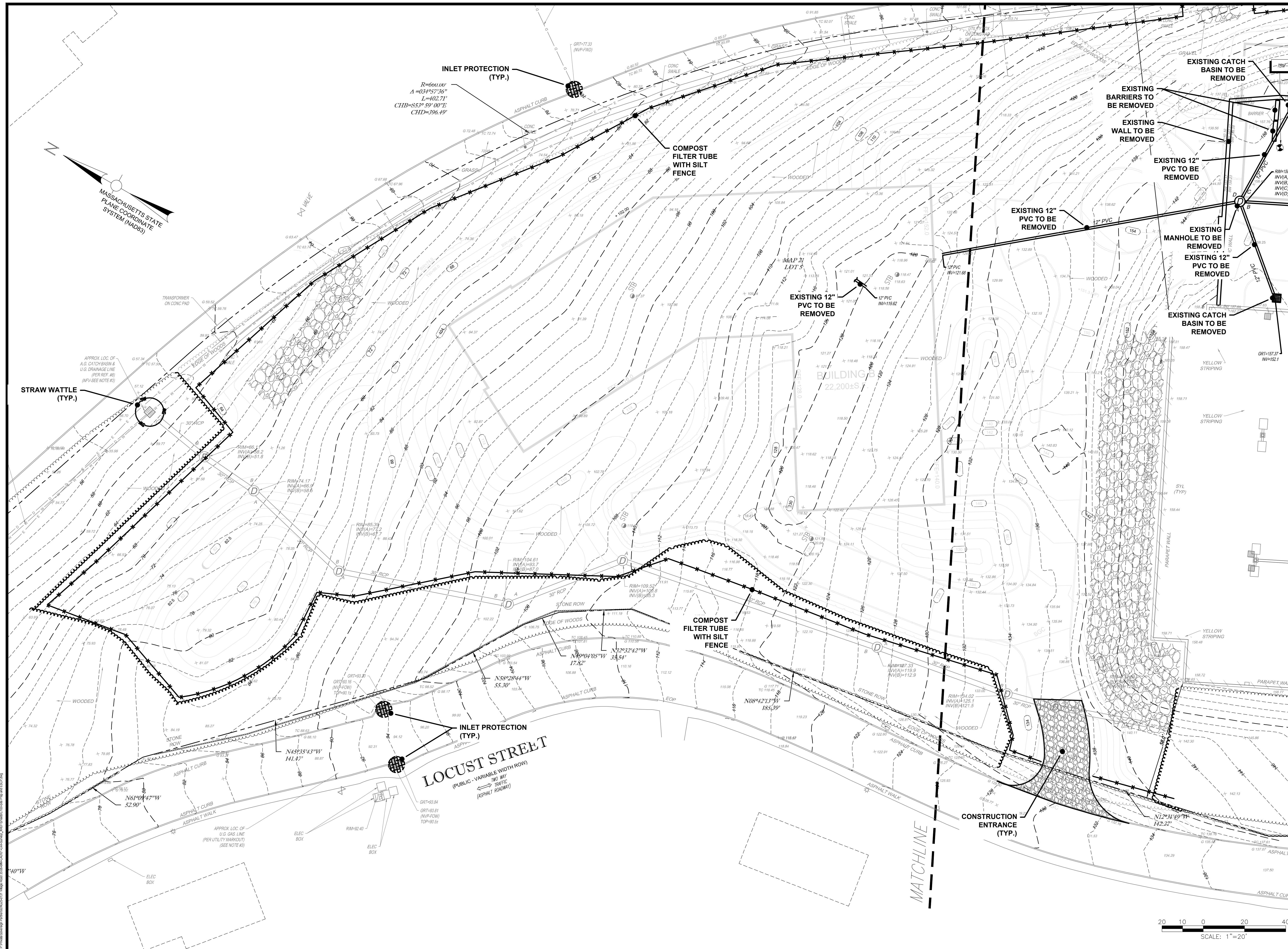
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Drawing Title:

KEY SHEET

Sheet Number:
C001

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Project:
FERNCROFT APARTMENTS
RESIDENTIAL COMMUNITY
35 VILLAGE ROAD
MIDDLETON, MA 01949



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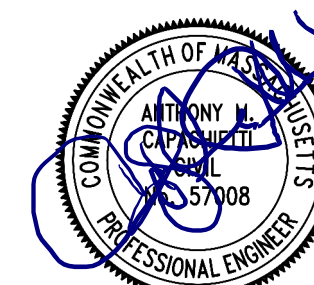
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W&S File No.:	

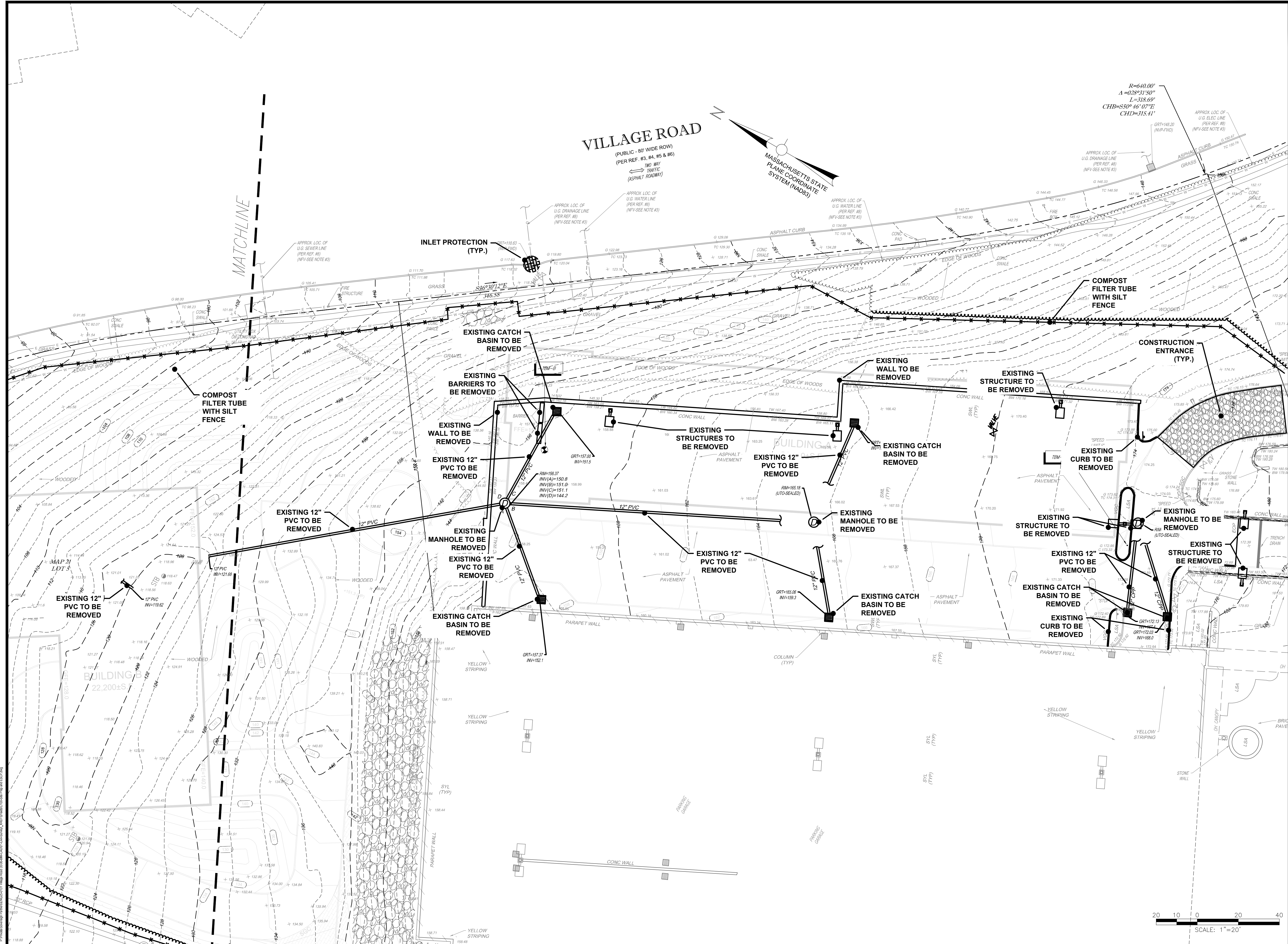
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**SITE PREPARATION
EROSION &
SEDIMENTATION
CONTROL PLAN**

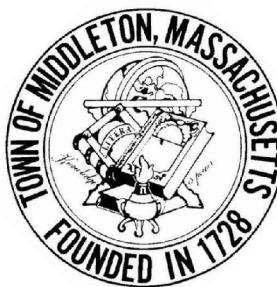
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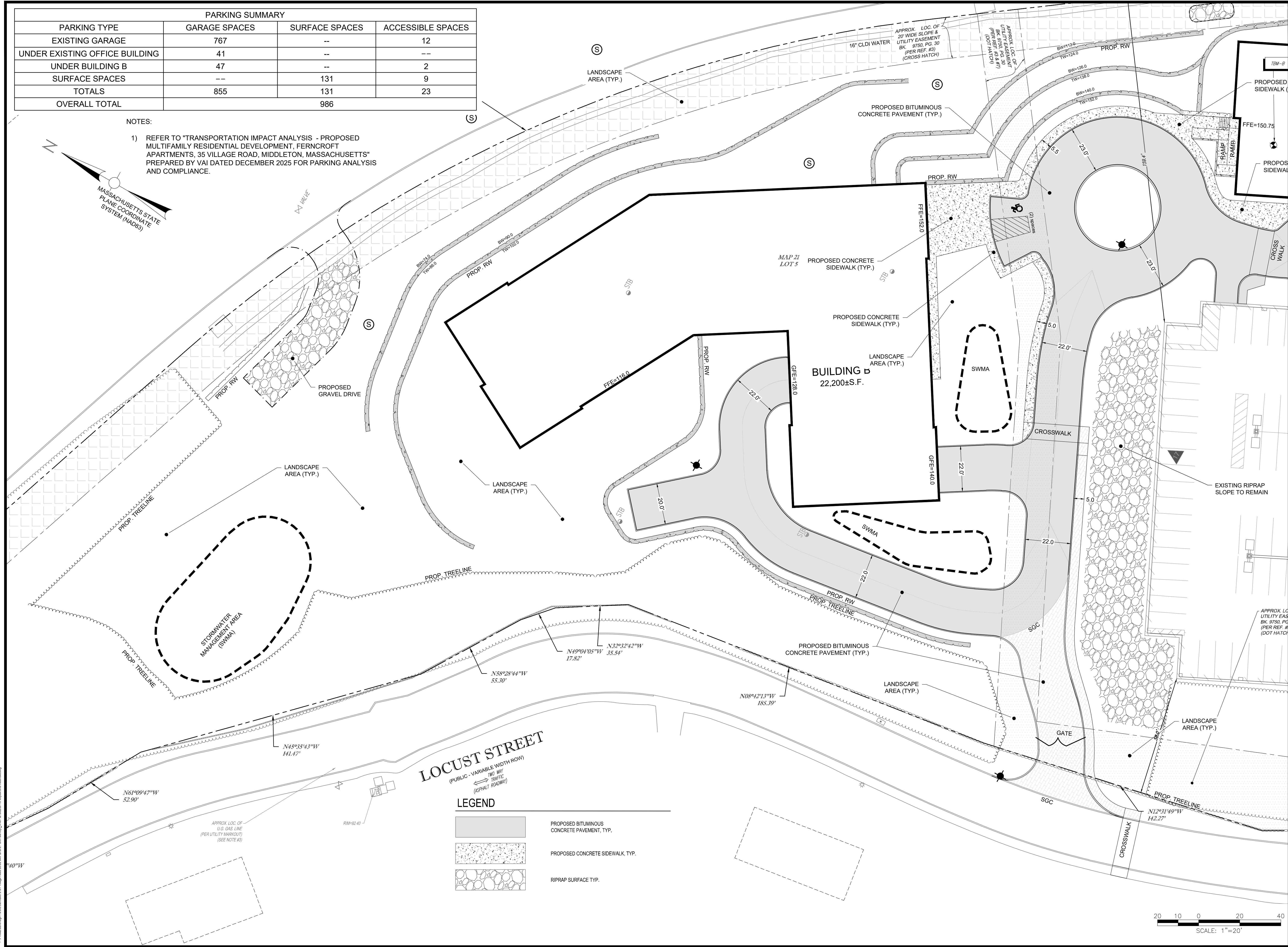
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Drawn By: JG
Reviewed By: EBL
Approved By: AMC
W&S Project No.: ENG25-0131
W&S File No.:
Drawing Title:
SITE PREPARATION
EROSION &
SEDIMENTATION
CONTROL PLAN
Sheet Number:
C101

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PARKING SUMMARY			
PARKING TYPE	GARAGE SPACES	SURFACE SPACES	ACCESSIBLE SPACES
EXISTING GARAGE	767	--	12
UNDER EXISTING OFFICE BUILDING	41	--	--
UNDER BUILDING B	47	--	2
SURFACE SPACES	--	131	9
TOTALS	855	131	23
OVERALL TOTAL		986	

NOTES:

- 1) REFER TO "TRANSPORTATION IMPACT ANALYSIS - PROPOSED MULTIFAMILY RESIDENTIAL DEVELOPMENT, FERNCROFT APARTMENTS, 35 VILLAGE ROAD, MIDDLETON, MASSACHUSETTS" PREPARED BY VAI DATED DECEMBER 2025 FOR PARKING ANALYSIS AND COMPLIANCE.



Project:
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RESIDENTIAL COMMUNITY
35 VILLAGE ROAD
MIDDLETON, MA 01949



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Revisions:		
No.	Date	Description

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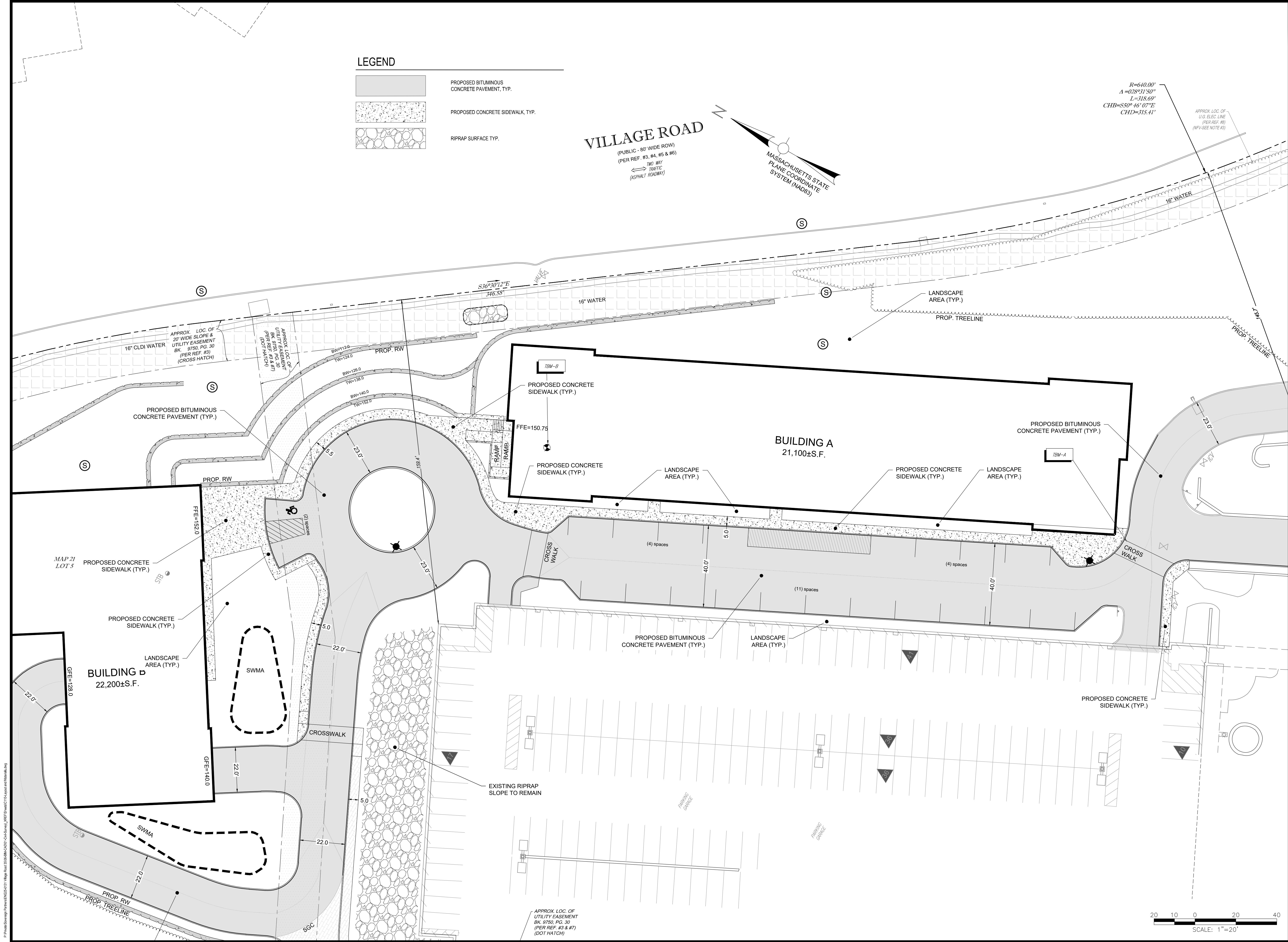
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Approved By: AMC
W&S Project No.: ENG25-0131
W&S File No.:

Drawing Title:

LAYOUT AND
MATERIAL PLAN

Sheet Number:

C110



Project:
FERNCROFT APARTMENTS
RESIDENTIAL COMMUNITY
35 VILLAGE ROAD
MIDDLETON, MA 01949

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Revisions:

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LAYOUT AND
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Sheet Number:
C111

COA:

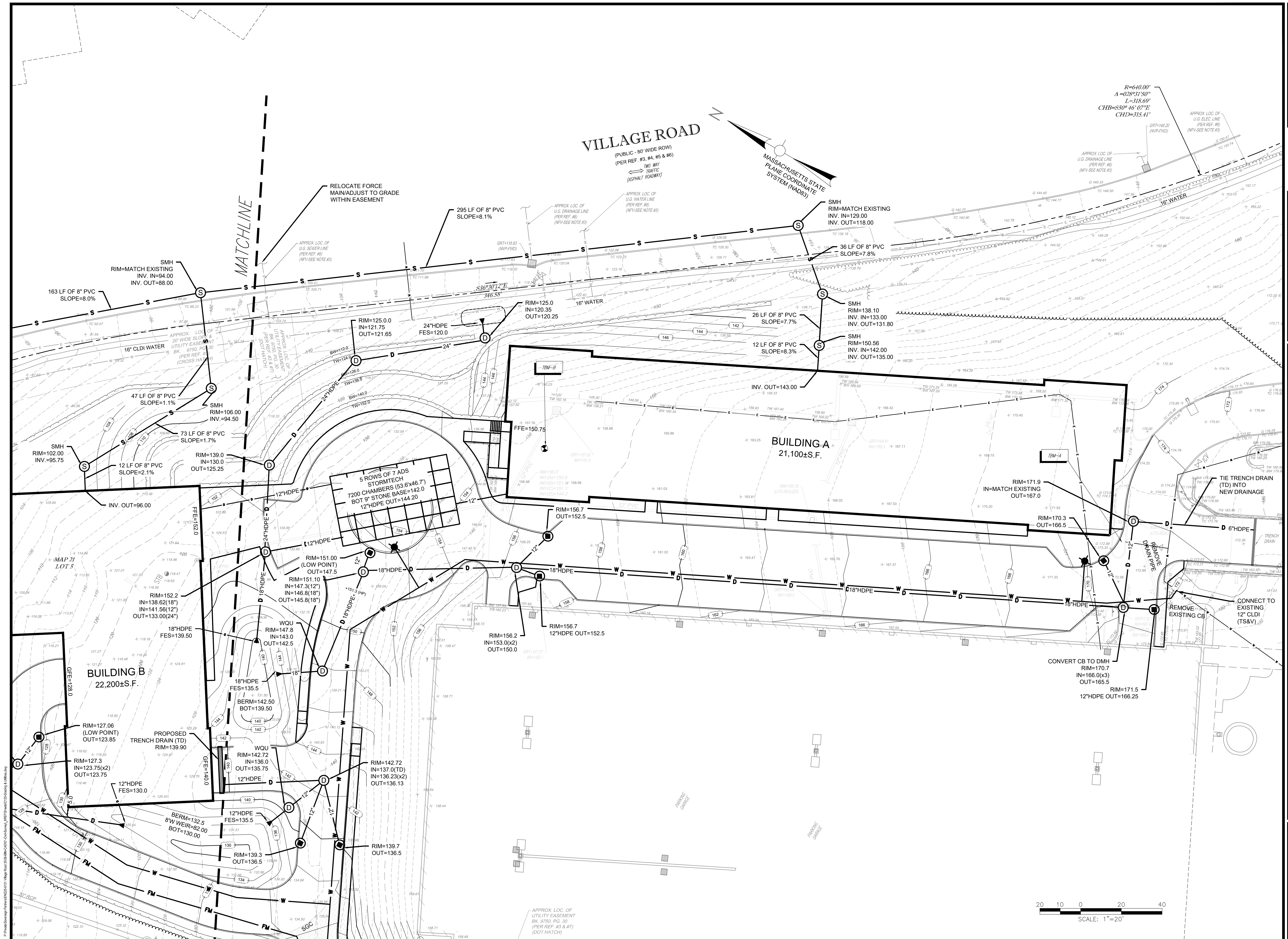
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(NOT FOR CONSTRUCTION)

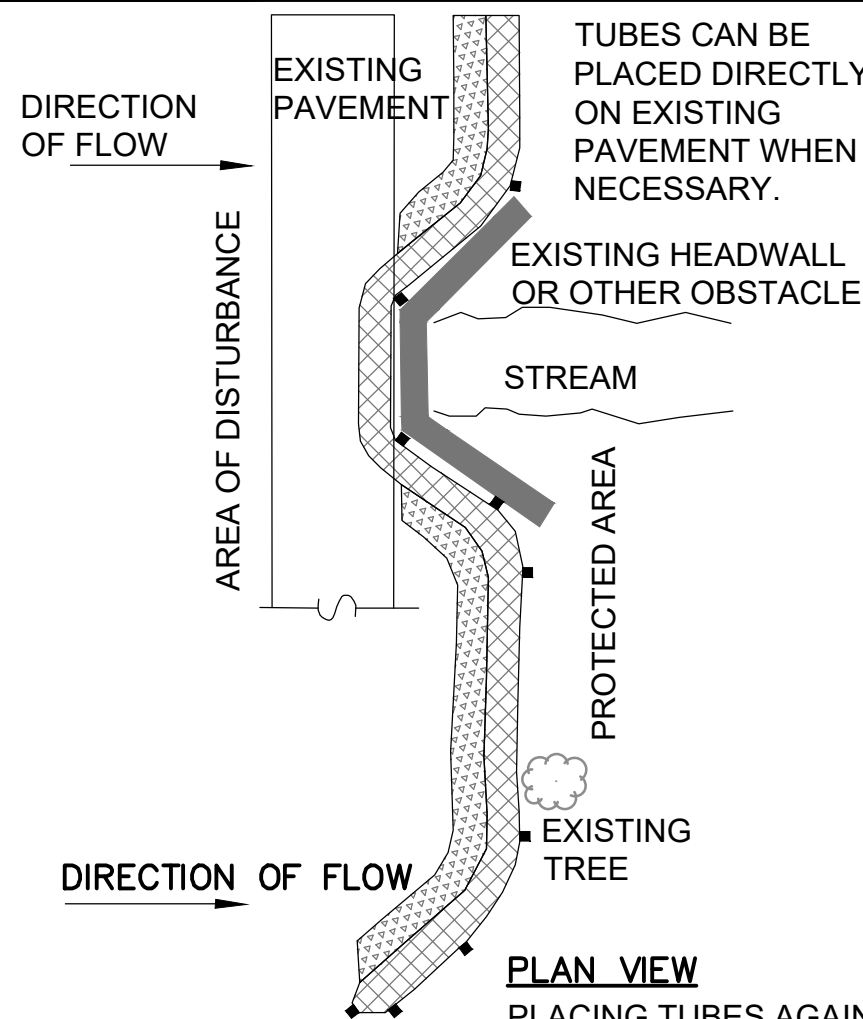
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Date:	12/19/2025
Drawn By:	JG
Reviewed By:	EBL
Approved By:	AMC
W&S Project No.:	ENG25-0131
W&S File No.:	

Sheet Number:

C121





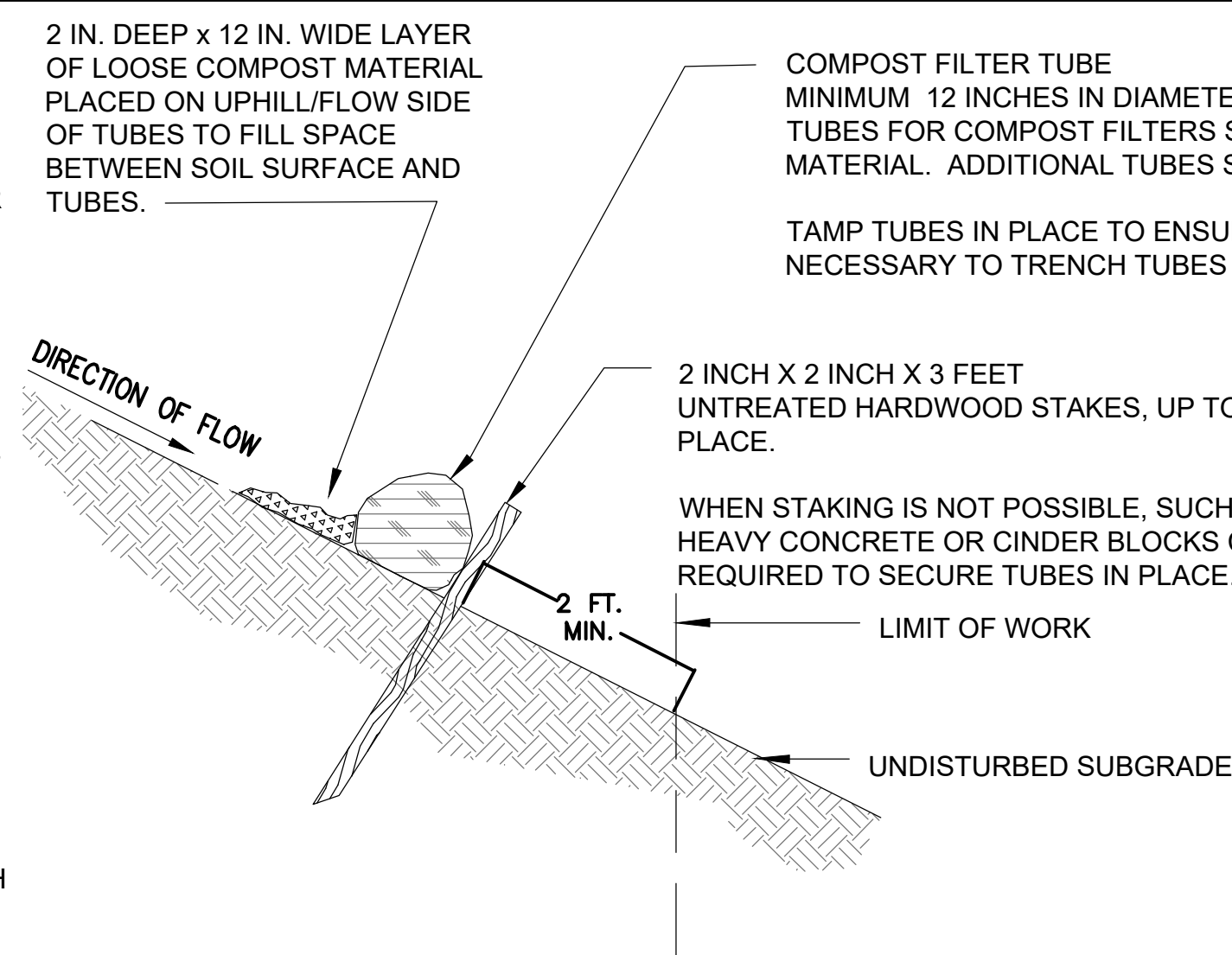
PLAN VIEW

PLACING TUBES AGAINST THE UPHILL SIDE OF WELL- ANCHORED, STATIONARY FEATURES SUCH AS EXISTING TREES CAN PROVIDE ADDITIONAL BRACING.

CURVE ENDS UPHILL TO PREVENT DIVERSION OF UNFILTERED RUN-OFF.

GENERAL NOTES:

1. PROVIDE A MINIMUM TUBE DIAMETER OF 12 INCHES FOR SLOPES UP TO 50 FEET IN LENGTH WITH A SLOPE RATIO OF 3H:1V OR STEEPER. LONGER SLOPES OF 3H:1V MAY REQUIRE LARGER TUBE DIAMETER OR ADDITIONAL COURSING OF FILTER TUBES TO CREATE A FILTER BERM. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR SITUATIONS WITH LONGER OR STEEPER SLOPES.
2. INSTALL TUBES ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW.
3. DO NOT INSTALL IN PERENNIAL, EPHEMERAL OR INTERMITTENT STREAMS.
4. CONFIGURE TUBES AROUND EXISTING SITE FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF.
5. MULCH MATERIAL FOR THE FILTER TUBES SHALL BE WEED-FREE STRAW, WOOD EXCELSIOR, COMPOST, OR WOOD CHIPS, OR COIR. STRAW SHALL BE WEED FREE AND DERIVED FROM THRESHING OF GRAIN CROP.

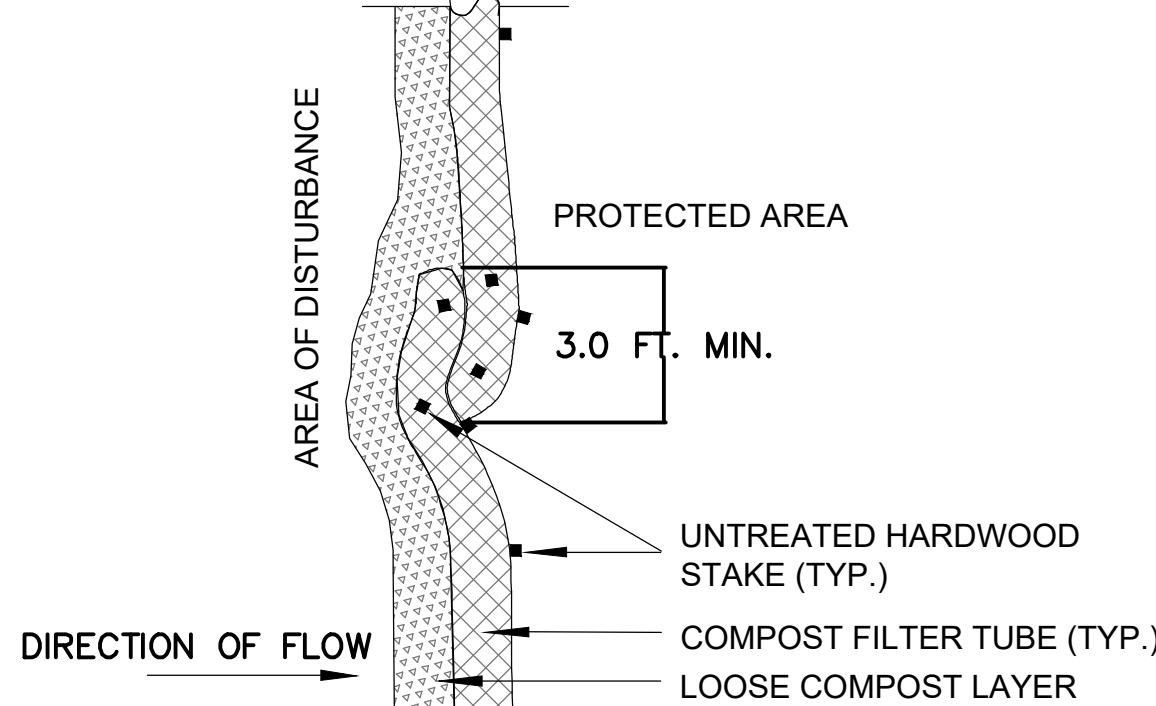


COMPOST FILTER TUBE
MINIMUM 12 INCHES IN DIAMETER WITH AN EFFECTIVE HEIGHT OF 9.5 INCHES.
TUBES FOR COMPOST FILTERS SHALL BE JUTE MESH OR APPROVED BIODEGRADABLE MATERIAL. ADDITIONAL TUBES SHALL BE USED AT THE DIRECTION OF THE ENGINEER.

TAMP TUBES IN PLACE TO ENSURE GOOD CONTACT WITH SOIL SURFACE. IT IS NOT NECESSARY TO TRENCH TUBES INTO EXISTING GRADE.

PROVIDE A 3 FT. MINIMUM OVERLAP AT ENDS OF TUBES TO JOIN IN A CONTINUOUS BARRIER AND MINIMIZE UNIMPEDED FLOW. STAKE JOINING TUBES SNUGLY AGAINST EACH OTHER TO PREVENT UNFILTERED FLOW BETWEEN THEM.

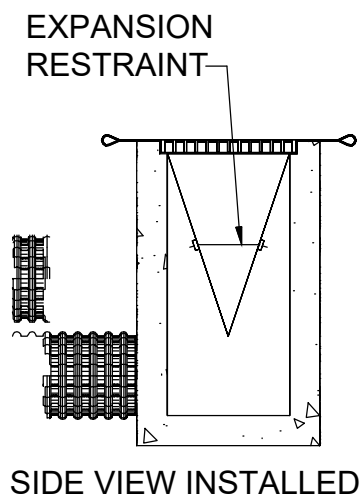
SECURE ENDS OF TUBES WITH STAKES SPACED 18 IN. APART THROUGH TOPS OF TUBES.



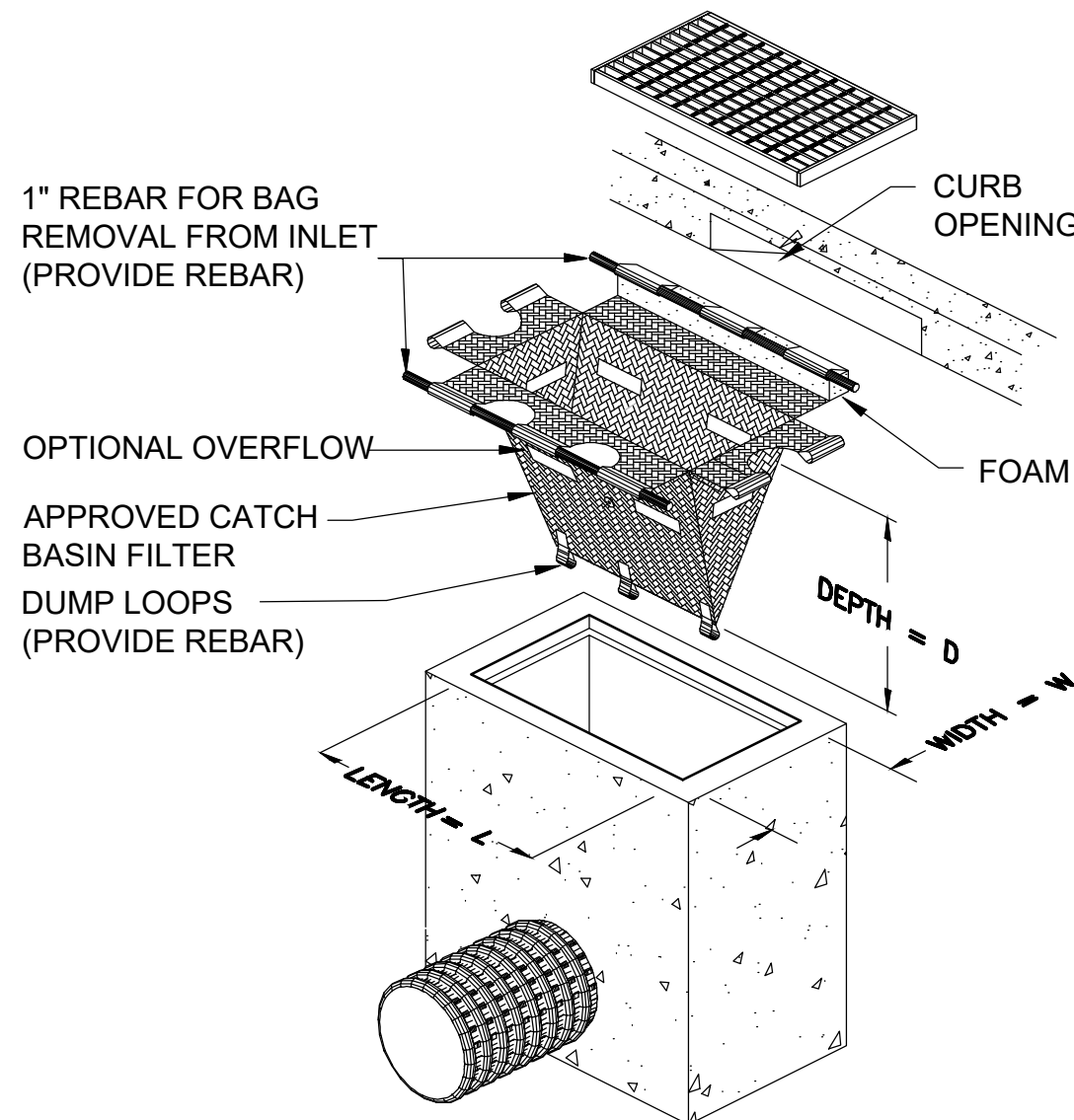
PLAN VIEW - JOINING DETAIL

1 EROSION CONTROL MEASURE: SINGLE COMPOST FILTER TUBE DETAIL

SCALE: N.T.S.



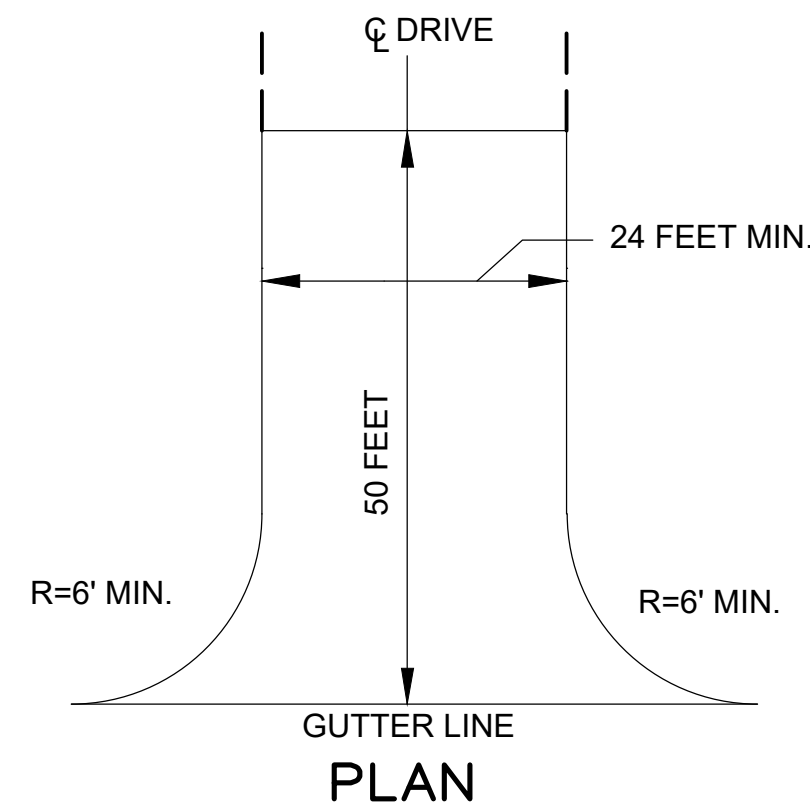
SIDE VIEW INSTALLED



NOTE:
CATCH BASIN IN LOCATIONS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL SHEET SHALL HAVE INLET CONTROL PRIOR TO CONSTRUCTION.

2 INLET SEDIMENT CONTROL

SCALE: N.T.S.



6 STABILIZED TEMPORARY CONSTRUCTION ENTRANCE

SCALE: N.T.S.

1. EROSION CONTROL MEASURES SHALL BE INCORPORATED IN THE SEQUENCE OF CONSTRUCTION TO PREVENT SEDIMENT LADEN WATER FROM LEAVING THE SITE.
2. AREAS SUBJECT TO EROSION SHALL BE MINIMIZED IN TERMS OF TIME AND AREA.
3. IN GENERAL, WORK REQUIRING EROSION CONTROL INCLUDES EXCAVATIONS, FILLS, DRAINAGE, SWALES AND DITCHES, ROUGH AND FINISH GRADING, AND STOCKPILING OF EARTH.
4. DO NOT DISTURB VEGETATION AND TOPSOIL BEYOND THE PROPOSED LIMIT OF SILT FENCE ACTIVITIES.
5. TEMPORARY SILT CONTROLS SHALL BE PLACED AS SHOWN ON THE PLAN. PERMANENTLY STABILIZE EACH COMPLETED SEGMENT OF CONSTRUCTION.
6. THE CONTRACTOR SHALL REMOVE TEMPORARY SILT CONTROLS AND ALL ACCUMULATED SILT AND DEBRIS AFTER COMPLETION OF CONSTRUCTION OPERATIONS.
7. SILT CONTROLS SHALL BE IN PLACE AT ALL TIMES DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL SILT AND DEBRIS FROM EACH DRAINAGE STRUCTURE UPON COMPLETION OF THE PROJECT.
9. OBJECTS AND/OR AREAS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
10. ALL DISTURBED AREAS SHALL BE RESTORED TO EXISTING GRADE. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS NEEDED.
11. SILT CONTROLS SHALL BE REMOVED UPON THE SATISFACTORY COMPLETION OF ALL WORK SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
12. SITE PERIMETER SHALL HAVE STRAW WATTLES INSTALLED AT THE LIMIT OF WORK.

A. BURY THE TOP END OF EXCELSIOR MATTING STRIPS MINIMUM 6 INCHES.

B. TAMP THE TRENCH FULL OF SOIL. SECURE WITH ROW OF STAPLES, 6 INCH SPACING 4 INCHES DOWN FROM THE TRENCH.

C. OVERLAP-BURY UPPER END OF LOWER STRIP AS IN 'A' AND 'B'. OVERLAP END OF TOP STRIP 4 INCHES AND STAPLE.

D. EROSION STOP-FOLD EDGE OF EXCELSIOR MATTING BURIED IN SILT TRENCH AND TAMPED; DOUBLE ROW OF STAPLES.

NOTE:
JUTE NETTING TO BE USED ON ALL SLOPES GREATER THAN 4H:1V AS INDICATED ON GRADING PLANS

3 EROSION CONTROL BLANKET

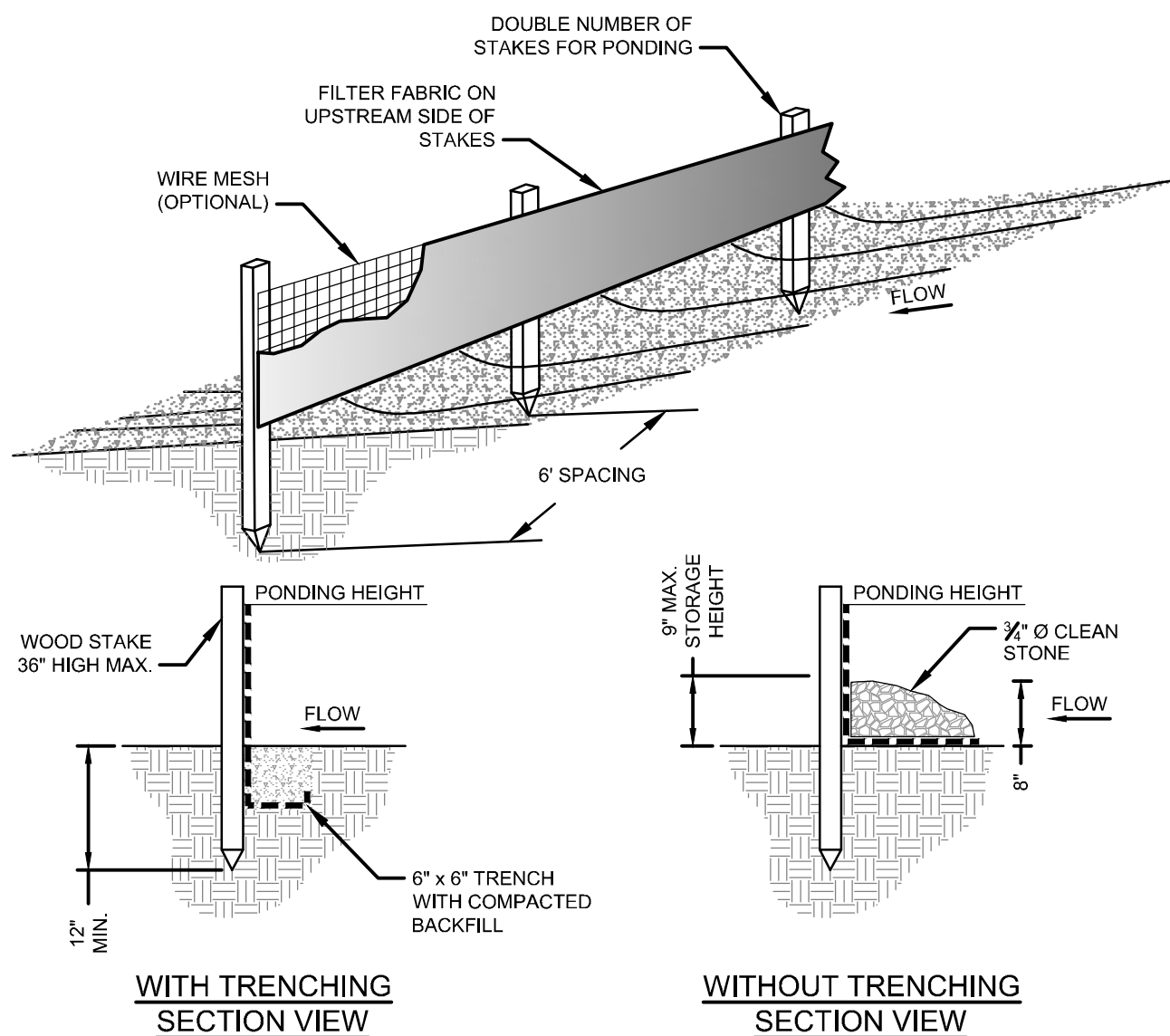
SCALE: N.T.S.

NOTES:

1. AT LEAST ONE CONSTRUCTION ENTRANCE SHALL BE PLACED AT EACH ENTRANCE OF THE SITE, THROUGHOUT CONSTRUCTION.
2. THE LOCATION OF THE CONSTRUCTION ENTRANCE(S) SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
3. CONSTRUCTION ENTRANCE(S) SHALL CONSIST OF 2" CRUSHED STONE PLACED AT A DEPTH OF A MINIMUM 8 INCHES PLACED OVER GEOTEXTILE FABRIC.
4. CONTRACTOR IS RESPONSIBLE FOR CLEARING OF ALL VEGETATION, ROOTS AND ALL OBSTRUCTIONS IN PREPARATION FOR GRADING AND COMPACTING PRIOR TO PLACEMENT OF GEOTEXTILE FABRIC AND CRUSHED STONE.
5. CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTION AND ALL NECESSARY MAINTENANCE OF ALL ENTRANCES.
6. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SEDIMENTS OR ANY OTHER MATERIALS TRACKED ONTO THE STREET, AS WELL MAINTENANCE OF EROSION CONTROL MEASURES.

4 STOCKPILE AREA

SCALE: N.T.S.



WITH TRENCHING

SECTION VIEW

WITHOUT TRENCHING

SECTION VIEW

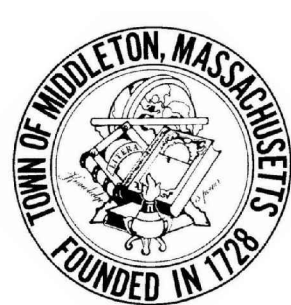
NOTES:

1. PREFABRICATED SILT FENCE MUST BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. THE FENCE SHALL BE ANCHORED TO RESIST PULL-OUT, AND BE STRETCHED TIGHTLY BETWEEN STAKES TO PREVENT SAGGING.
3. A 6-INCH WIDE AND 6-INCH DEEP TRENCH SHALL BE EXCAVATED UPGRADIENT OF THE FENCE LINE TO KEY THE "FLAP" OF THE FABRIC. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
4. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED BY WRAPPING END STAKES TOGETHER.
5. IN AREAS WHERE THE FLAP CANNOT BE KEYED PROPERLY (DUE TO FROZEN GROUND, BEDROCK, STONY SOIL, ROOTS NEAR A PROTECTED NATURAL RESOURCE, ETC.) THE SILT FENCE SHALL BE ANCHORED WITH AGGREGATE, CRUSHED STONE, EROSION CONTROL MIX, OR OTHER MATERIAL.

5 SILT FENCE

SCALE: N.T.S.

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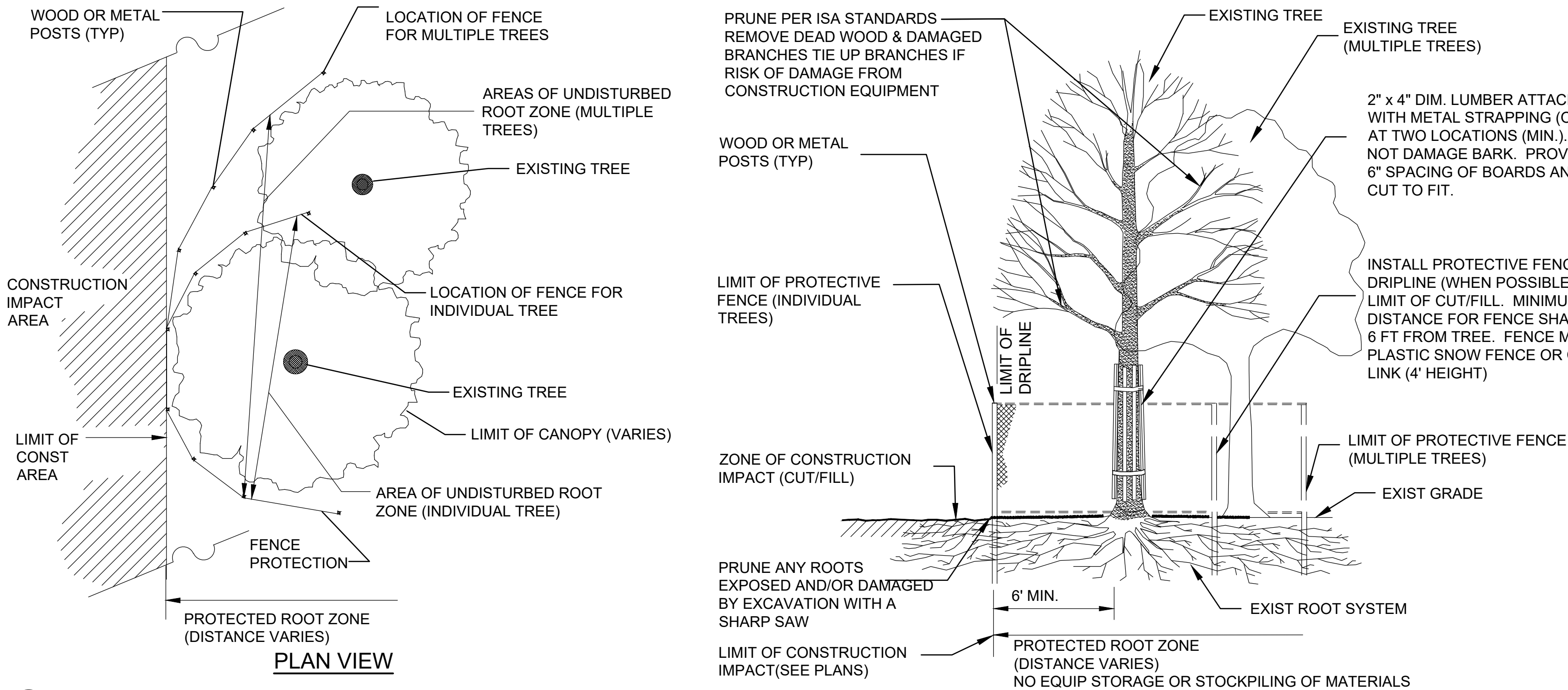
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Approved By: AMC
W&S Project No.: ENG25-0131
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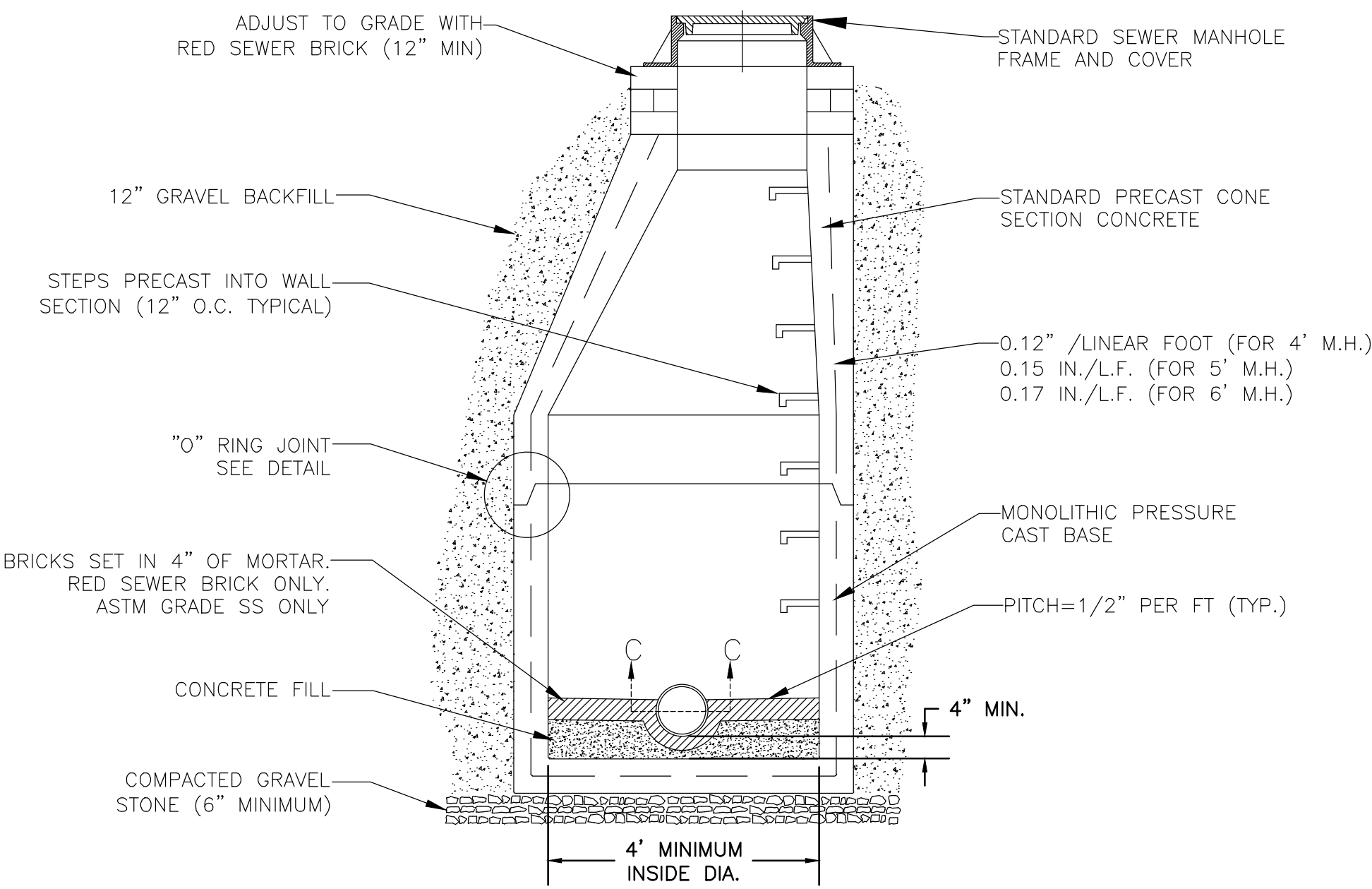
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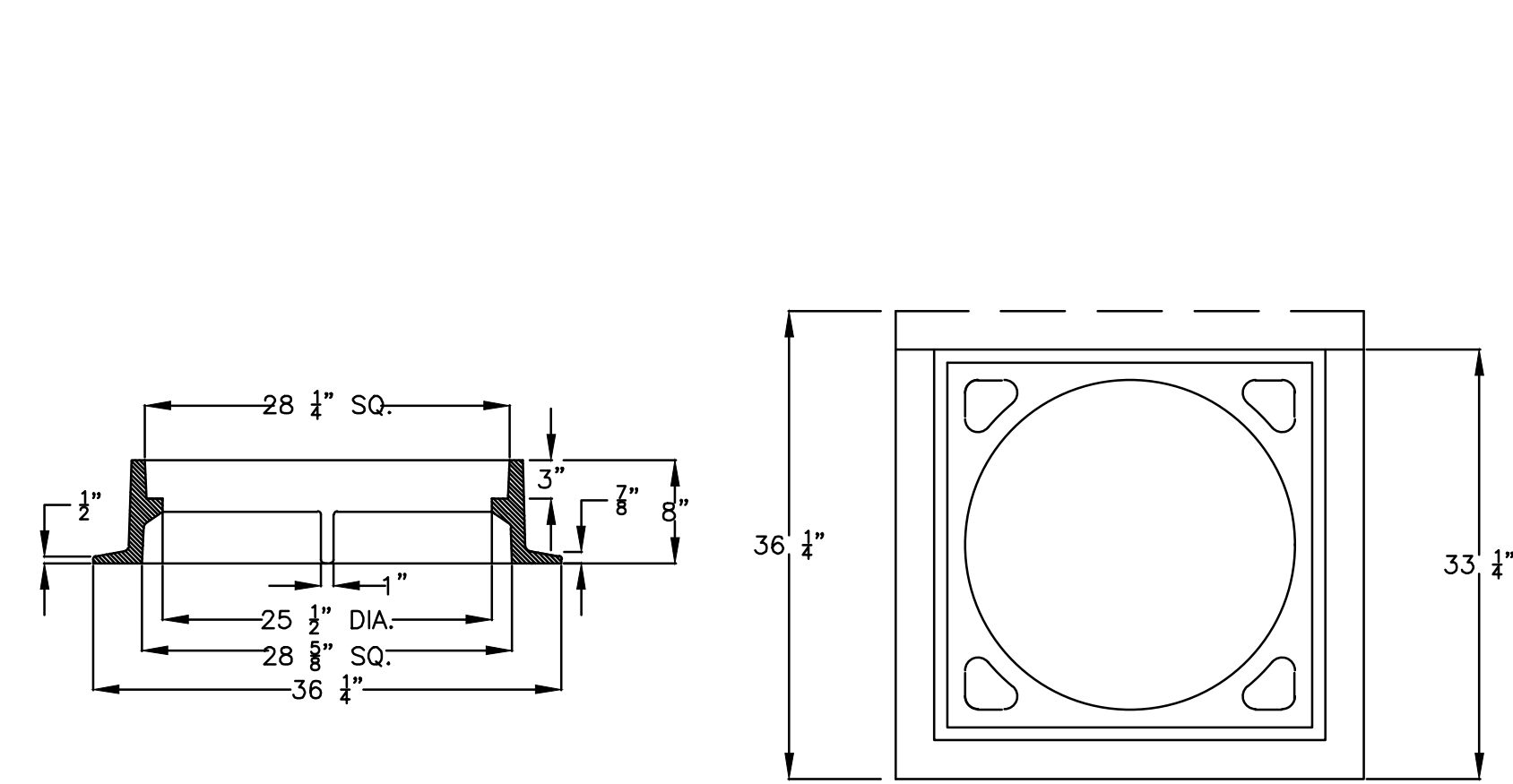
1 EXISTING TREE PROTECTION

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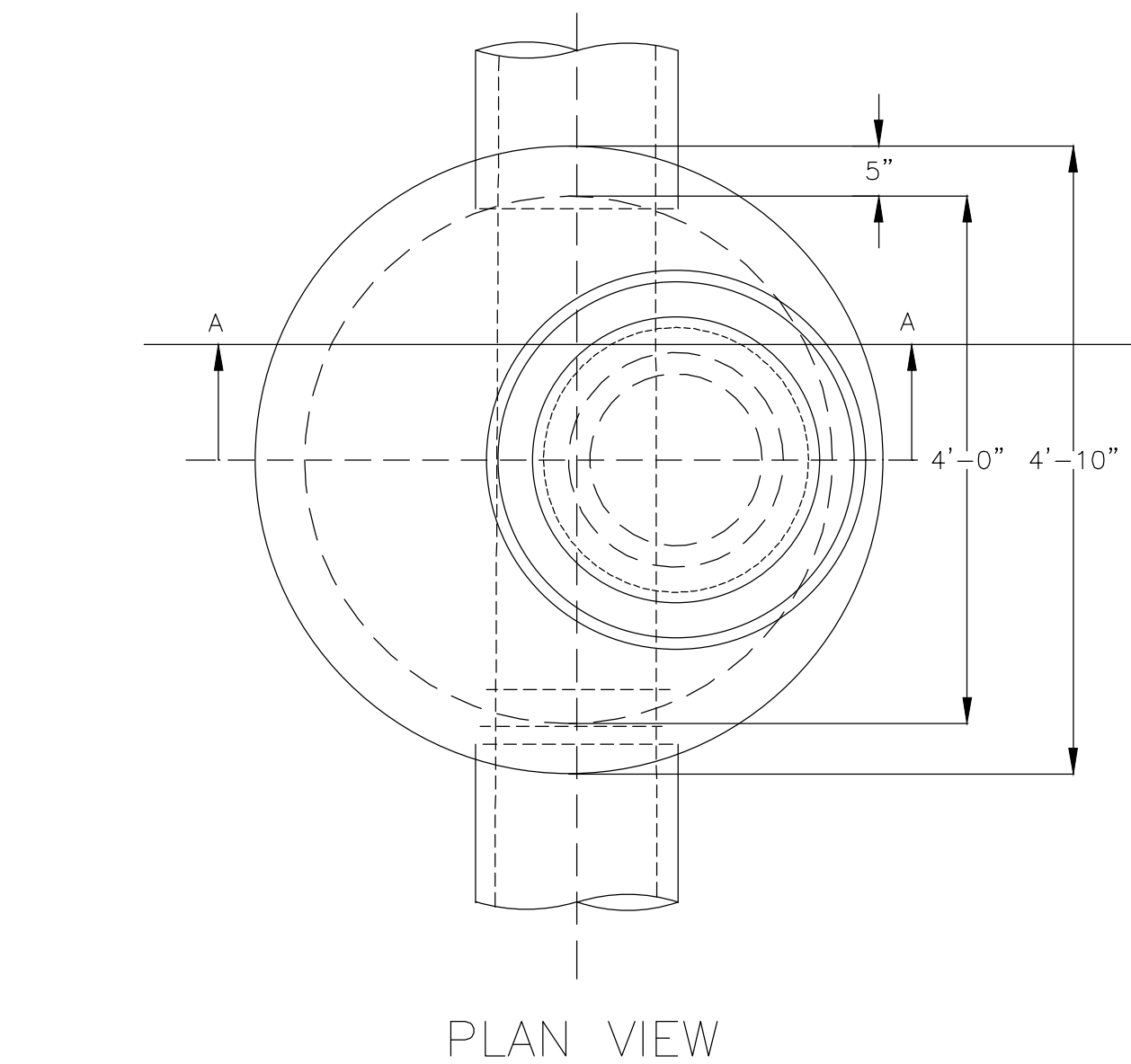
3 TYPICAL SEWER MANHOLE DETAIL

SCALE: N.T.S.



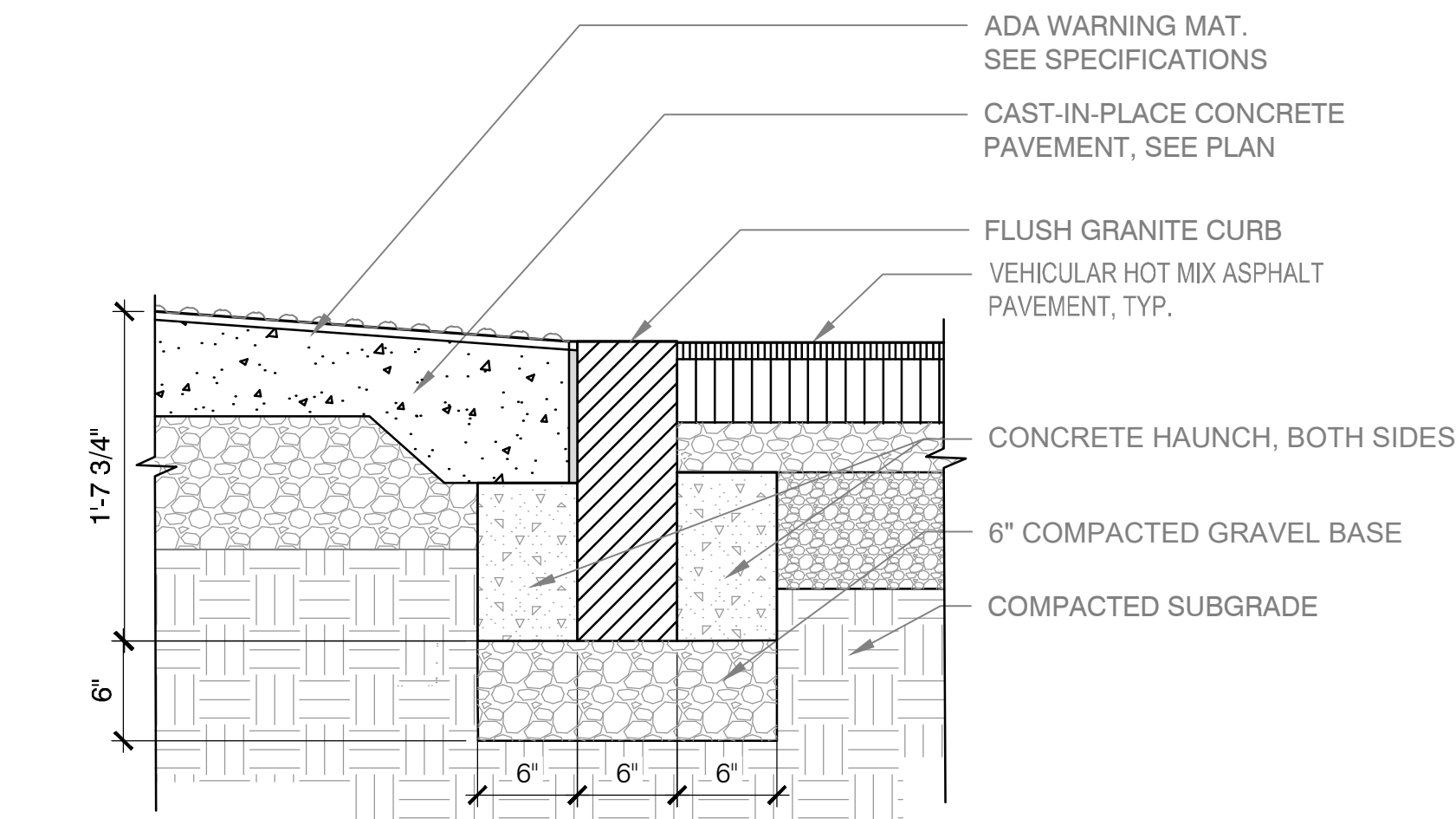
5 CATCH BASIN FRAME DETAIL

SCALE: N.T.S.



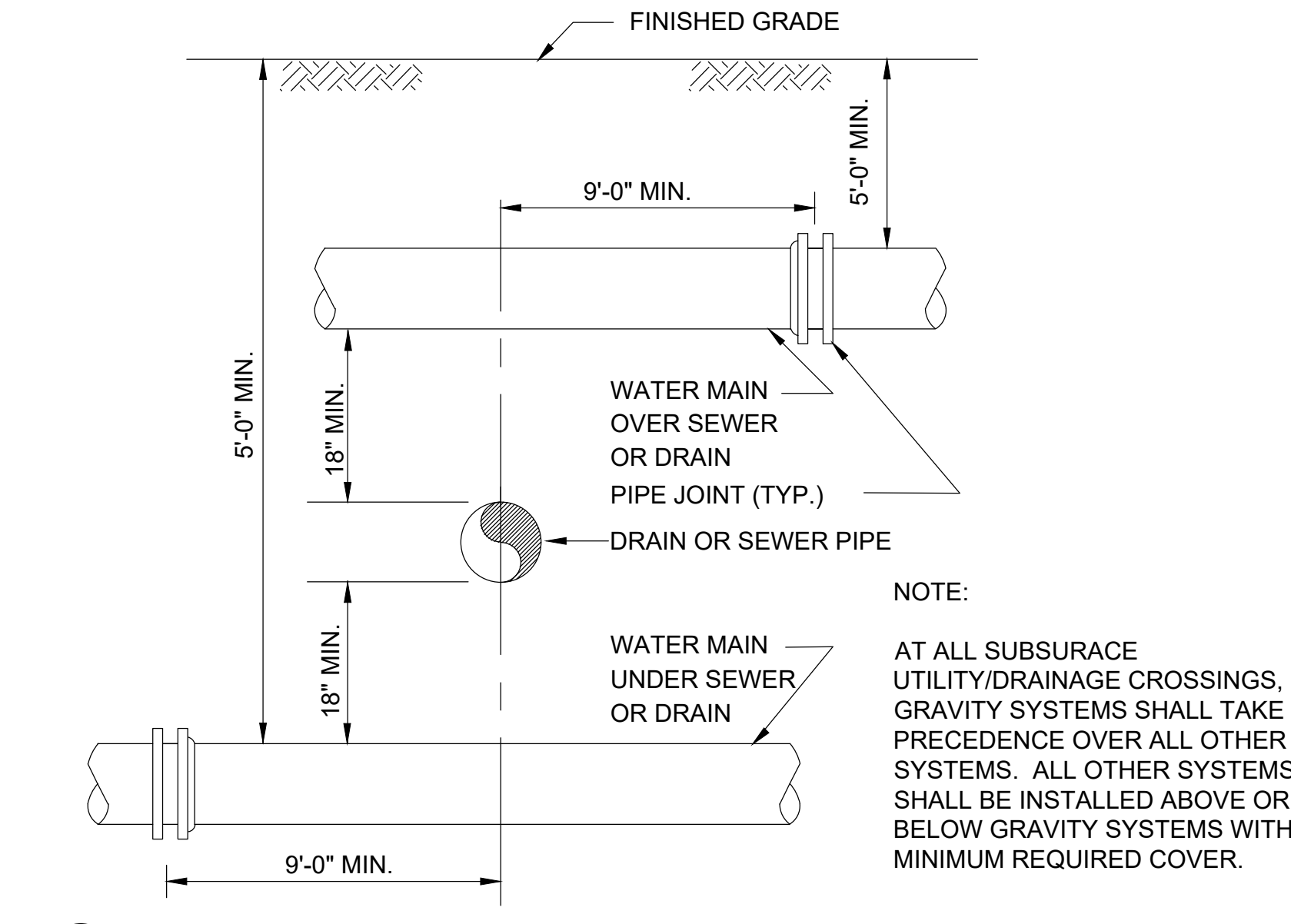
6 FLUSH GRANITE CURB

SCALE: N.T.S.



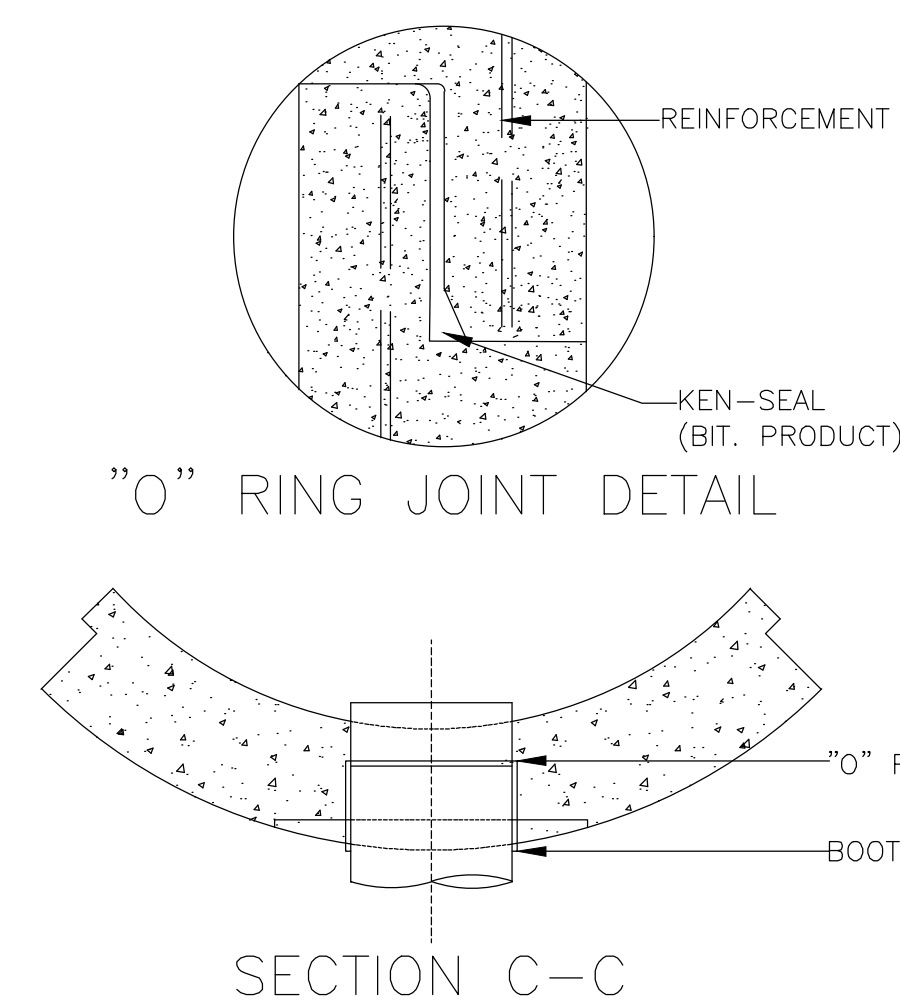
6 FLUSH GRANITE CURB

SCALE: N.T.S.



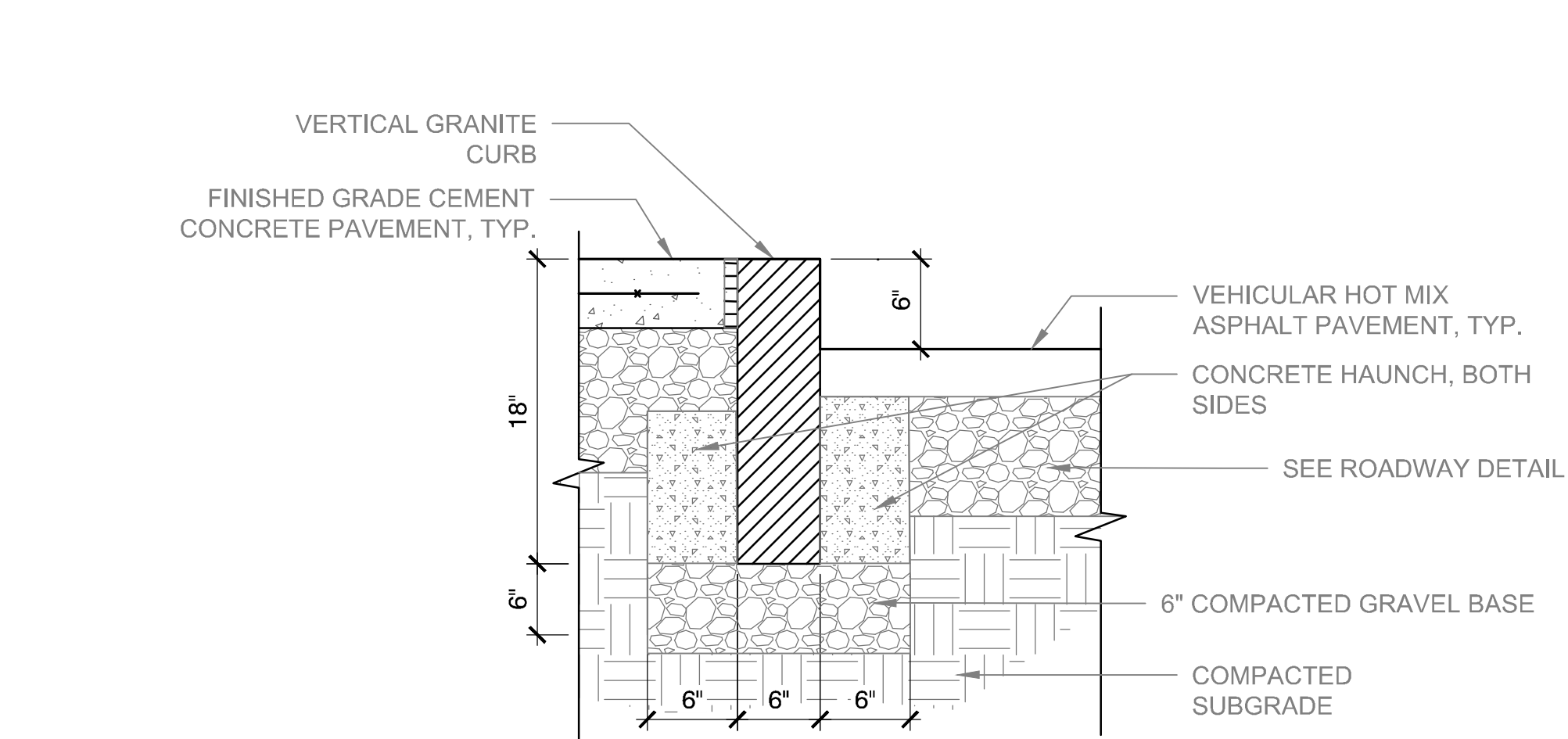
2 SEWER OR DRAIN CROSSING DETAIL

SCALE: N.T.S.



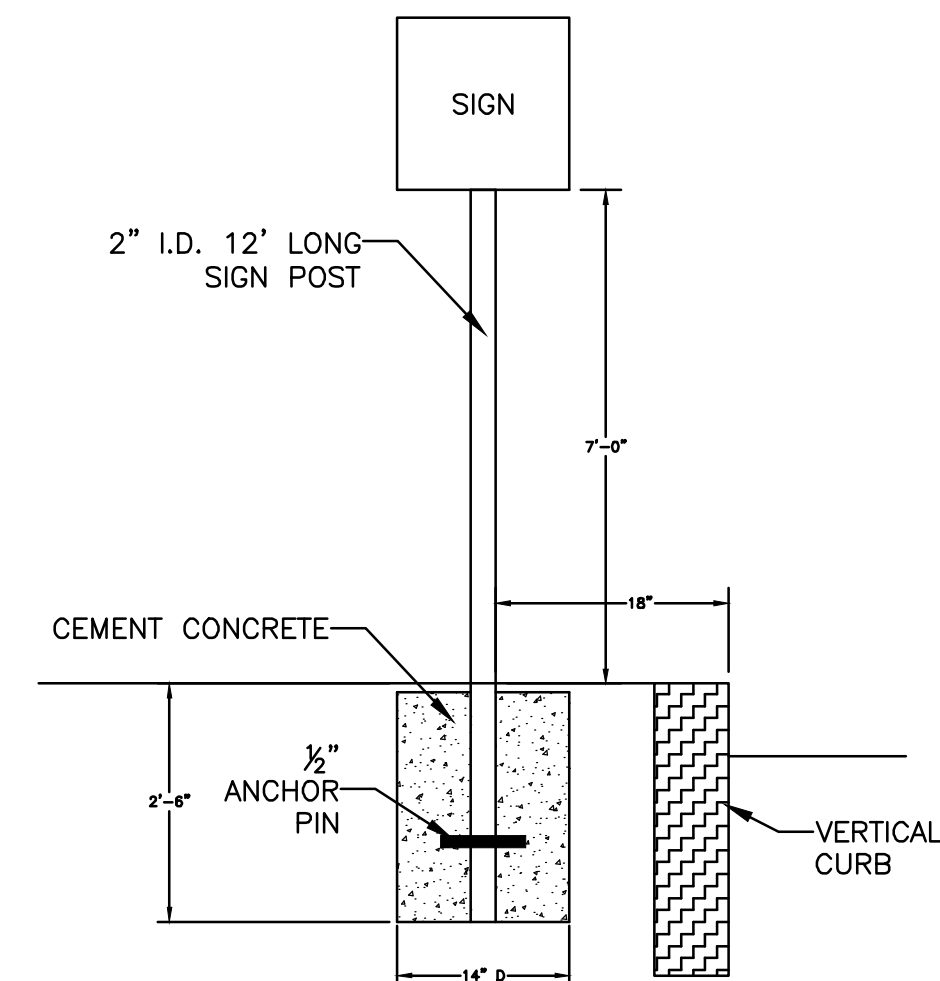
7 VERTICAL GRANITE CURB

SCALE: N.T.S.



7 VERTICAL GRANITE CURB

SCALE: N.T.S.



4 SIGN POLE INSTALLATION

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Reviewed By: EBL

Approved By: AMC

W&S Project No.: ENG25-0131

W&S File No.:

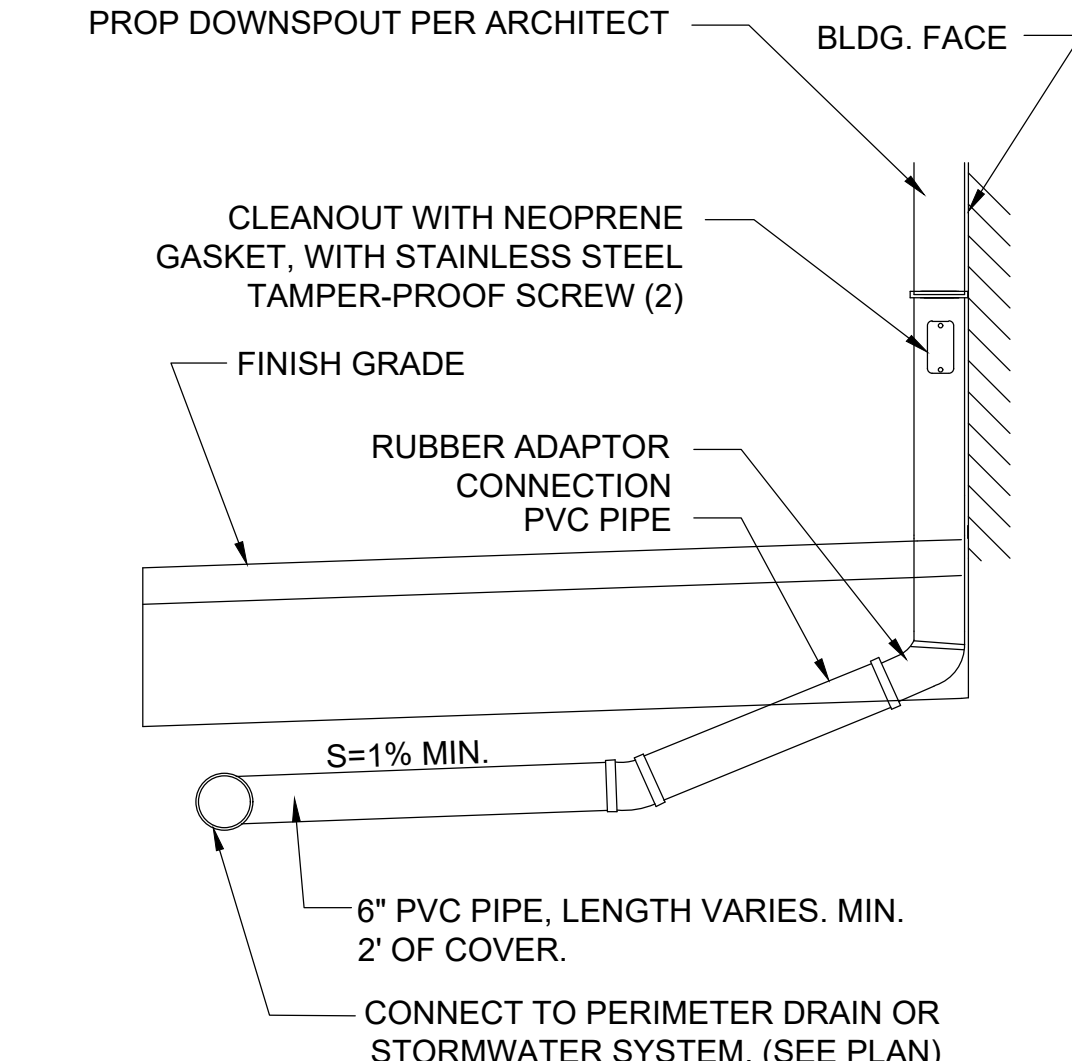
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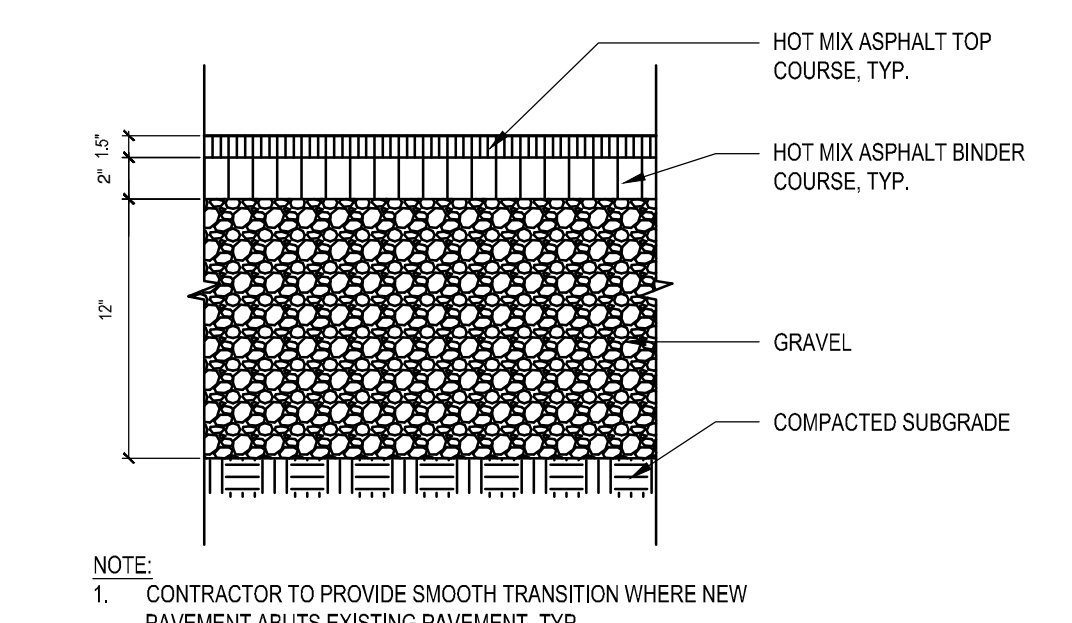
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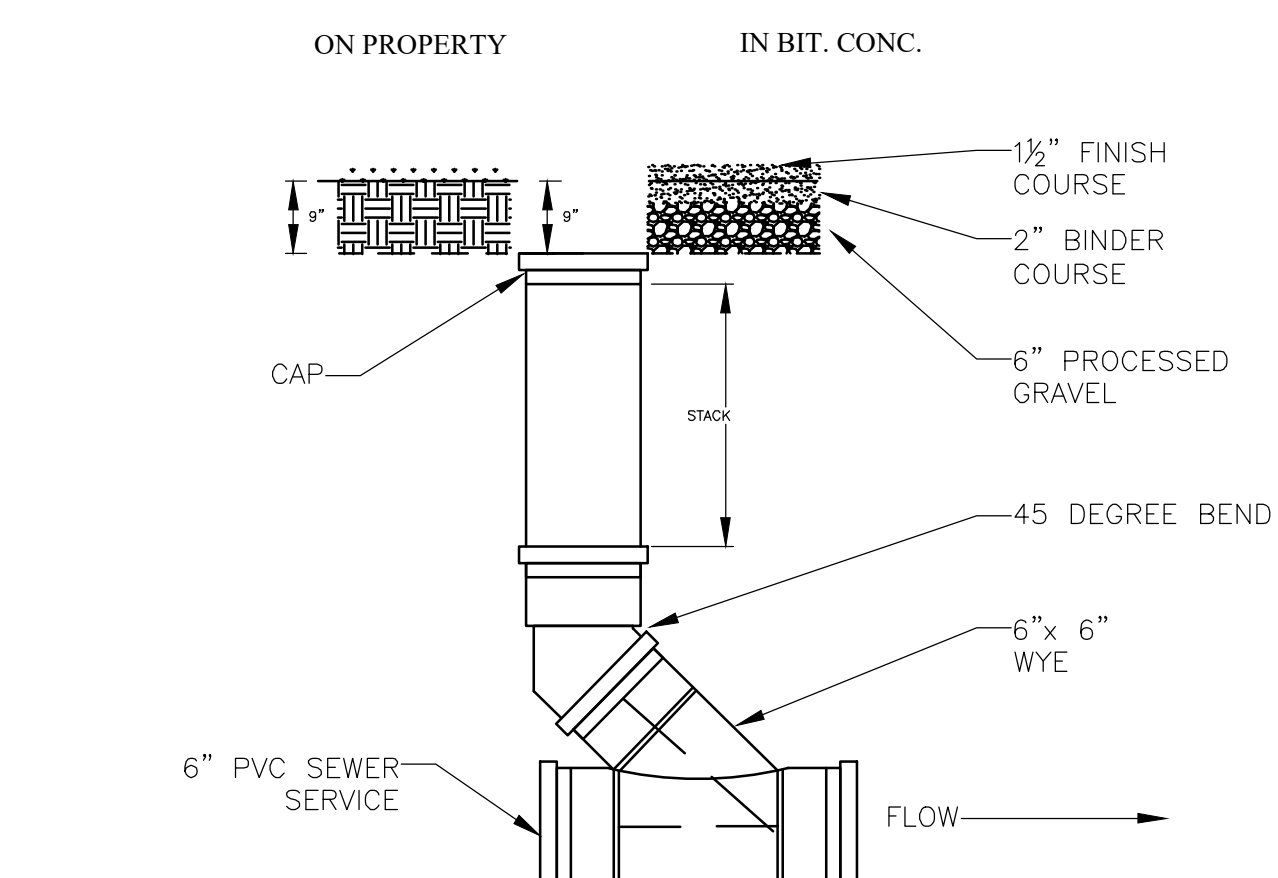


NOTE:
1. DOWNSPOUT DETAIL IS TYPICAL FOR ALL BUILDING GUTTER DOWNSPOUTS.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT QUANTITY & LOCATION.
3. COORDINATE WITH CIVIL SITE PLANS FOR CONNECTIONS TO STORM SYSTEM.

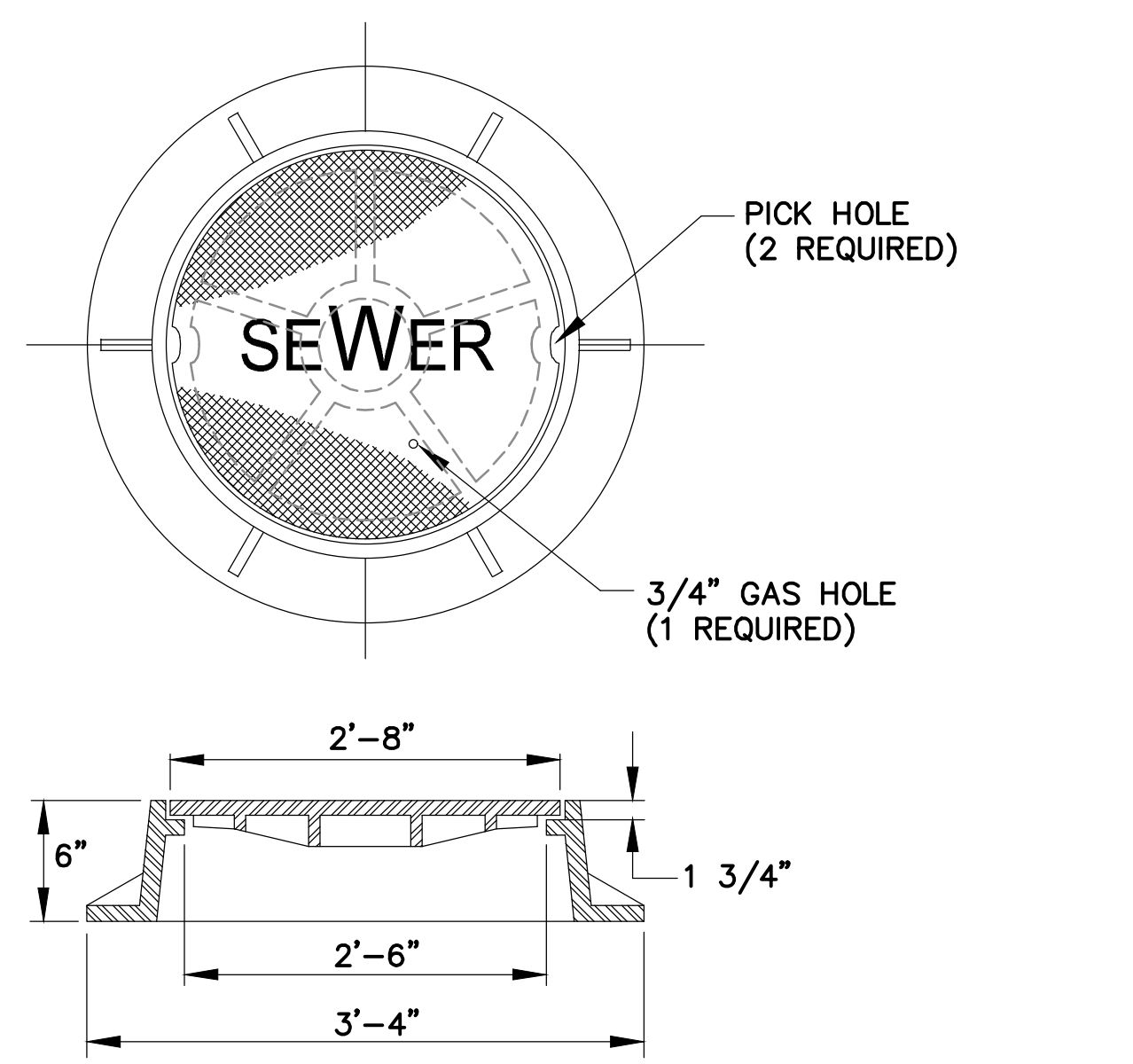
1 GUTTER DOWNSPOUT CONNECTION DETAIL
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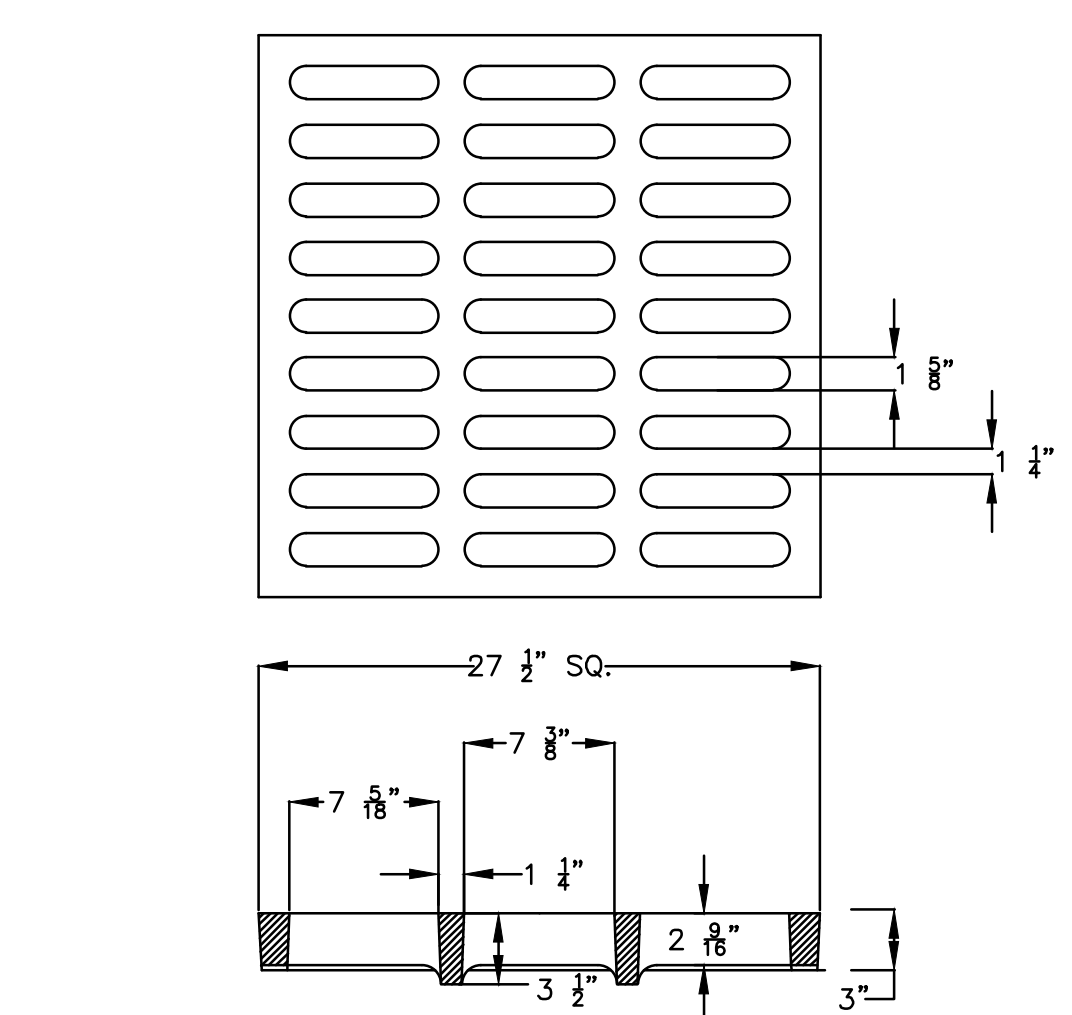
5 VEHICULAR HOT MIX ASPHALT PAVEMENT, TYP.
SCALE: N.T.S.



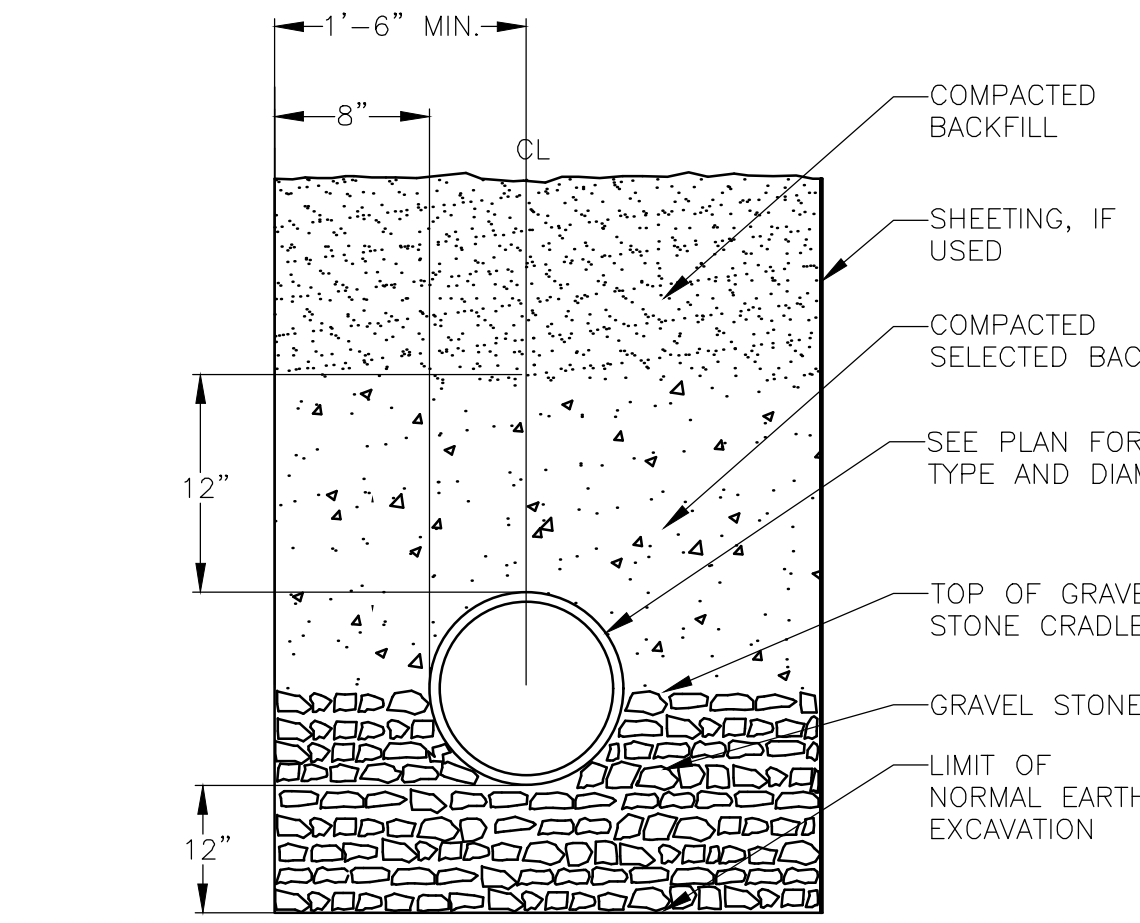
2 TYPICAL CLEANOUT DETAIL
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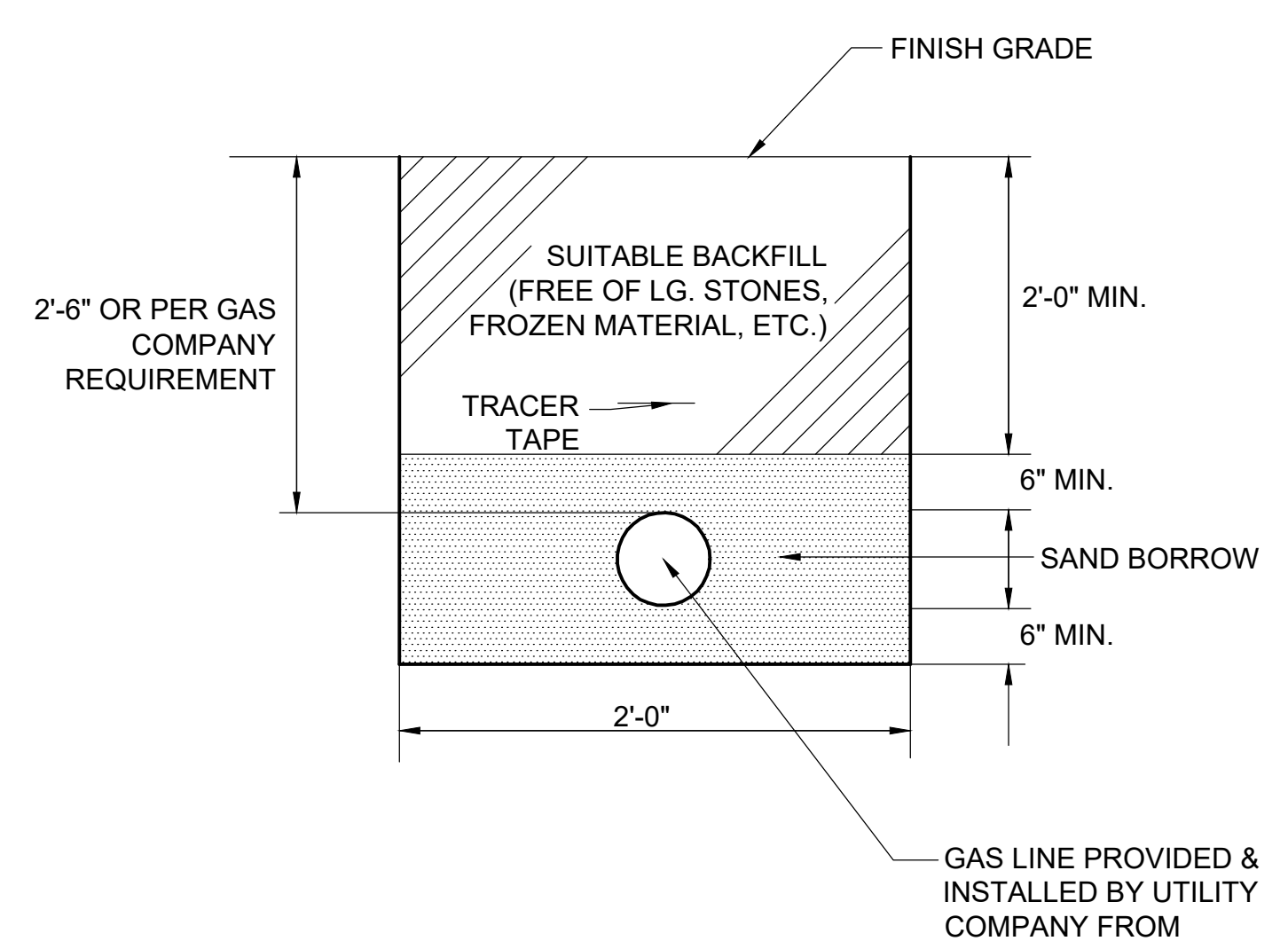
6 SEWER MANHOLE FRAME AND COVER DETAIL
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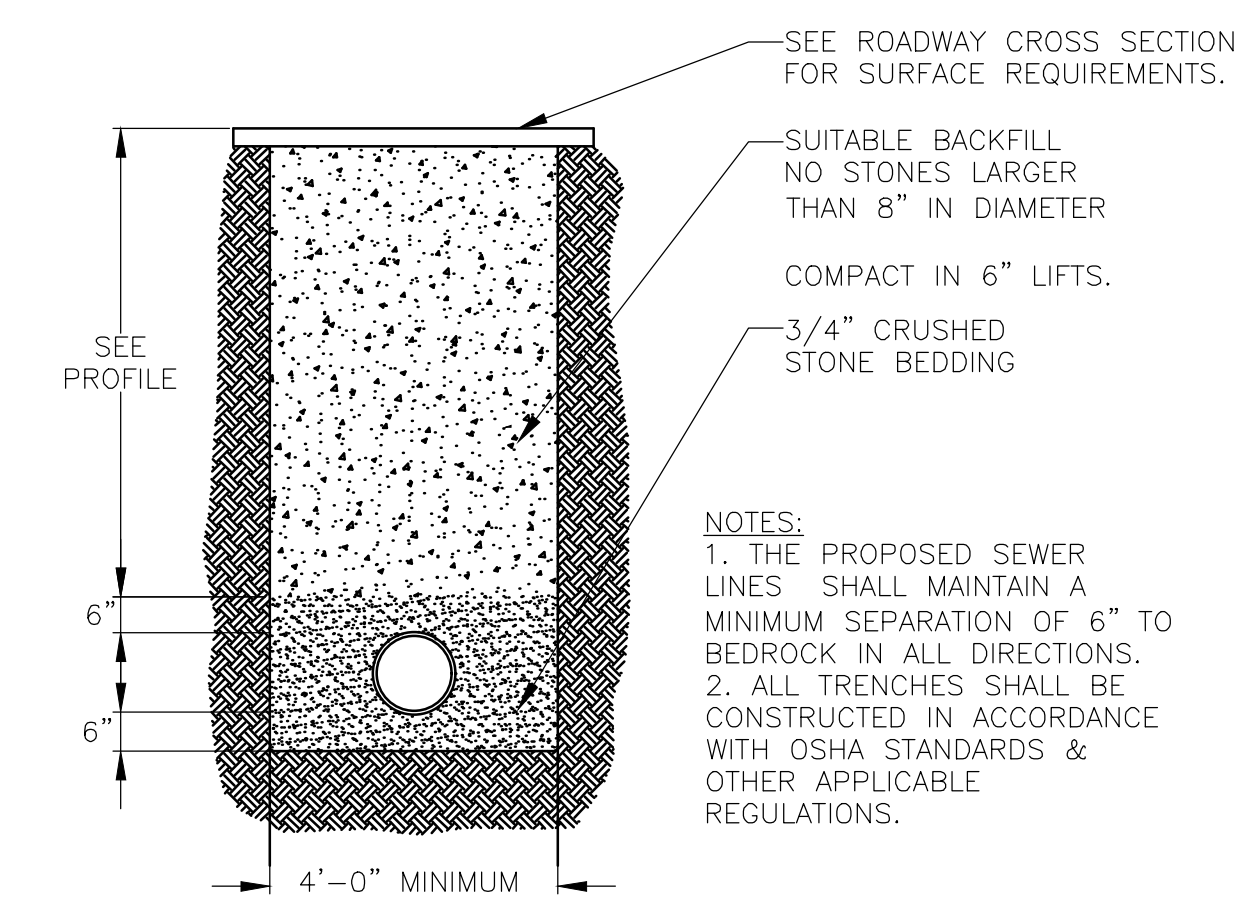
3 CATCH BASIN GRATE DETAIL
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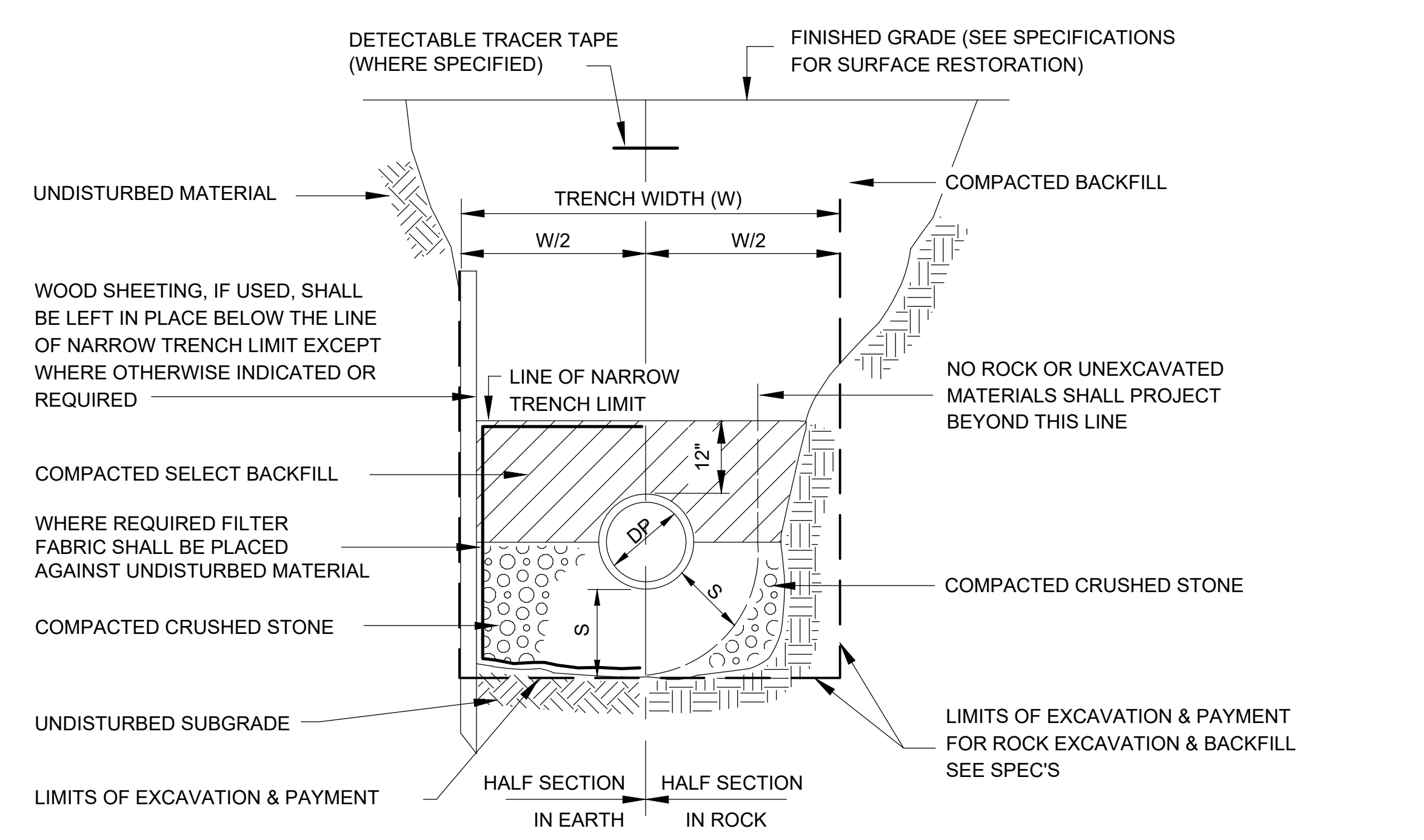
4 DRAIN TRENCH DETAIL
SCALE: N.T.S.



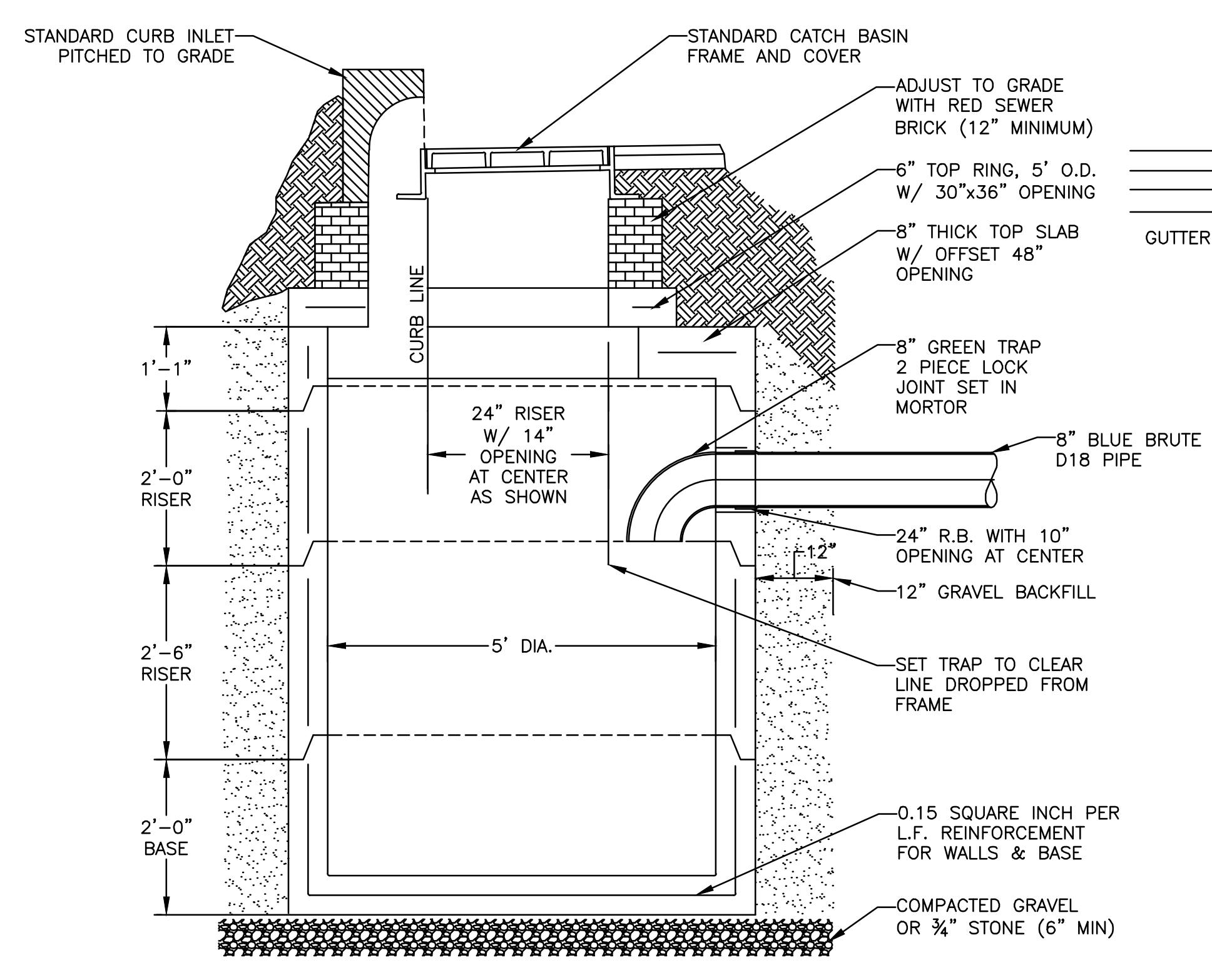
7 GAS TRENCH DETAIL
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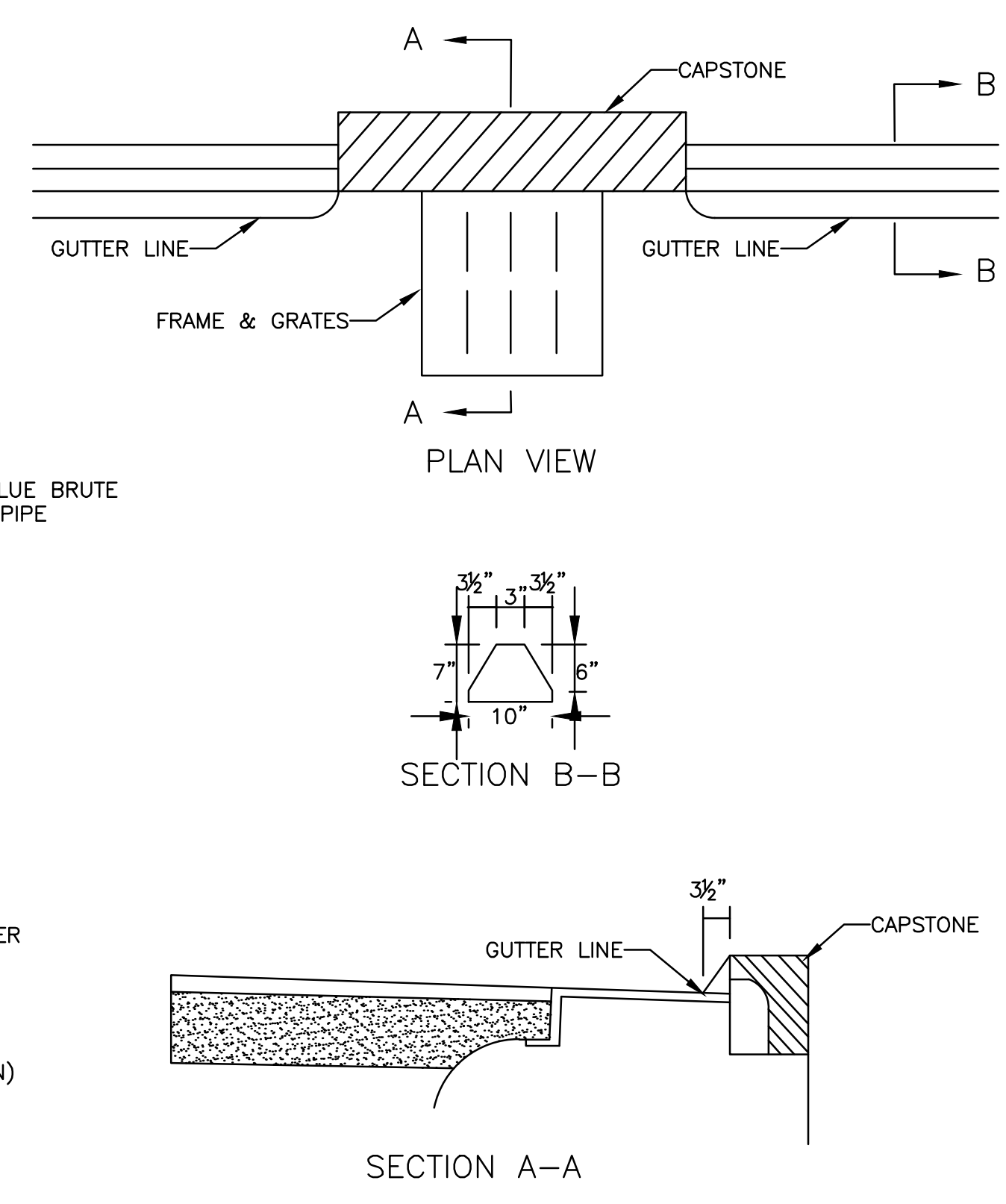
8 SEWER TRENCH DETAIL
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9 DRAINAGE TRENCH DETAIL
SCALE: N.T.S.



10 TYPICAL PRECAST CATCH BASIN
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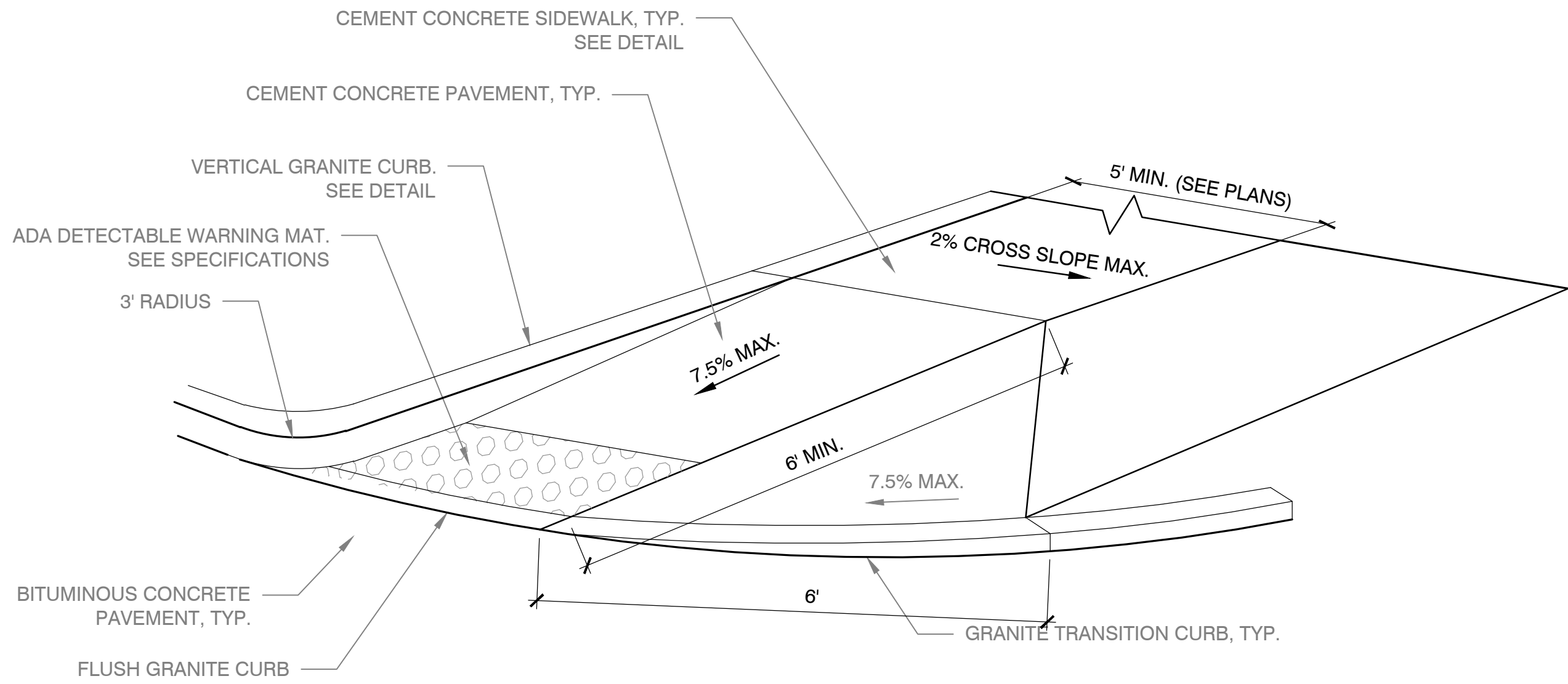
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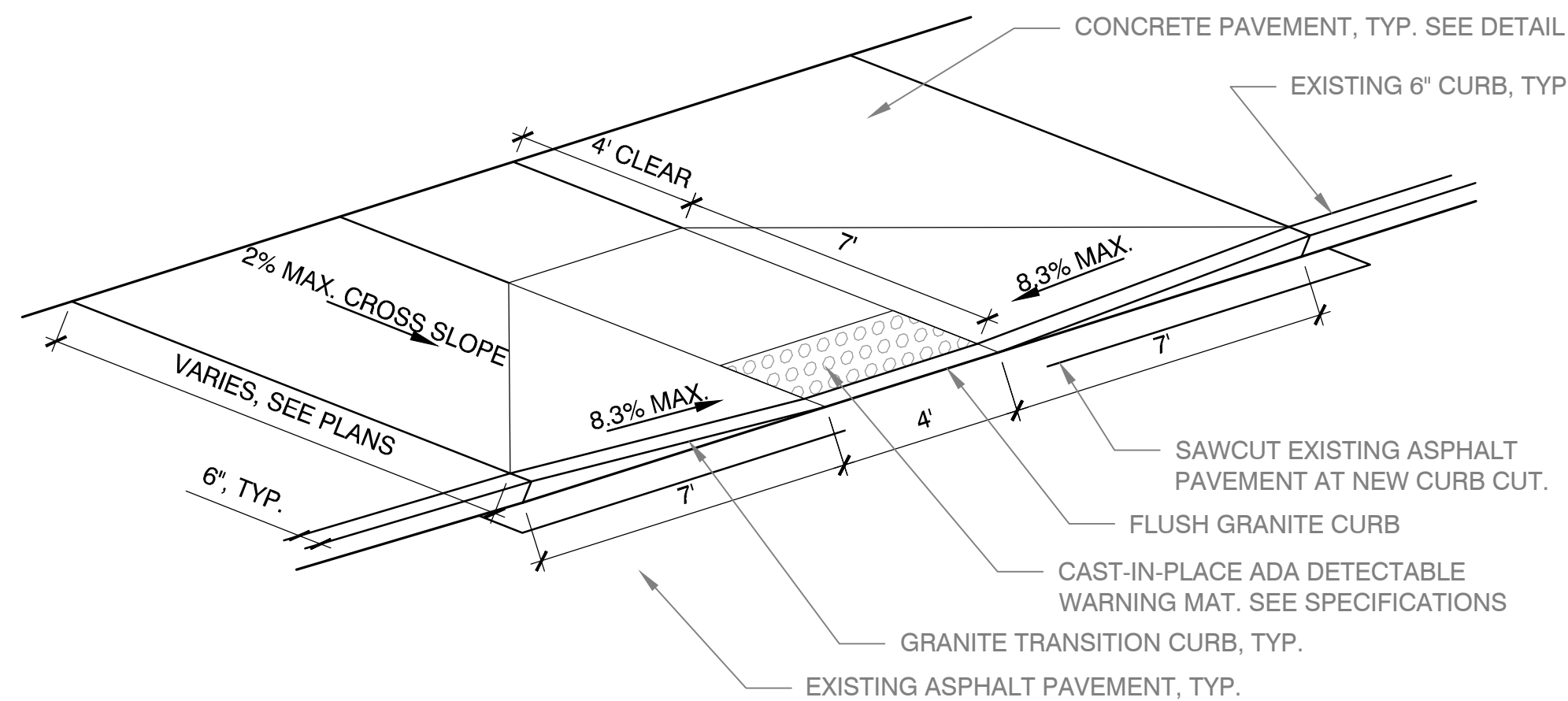
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W&S Project No.: ENG25-0131
W&S File No.:

Drawing Title:
DETAILS
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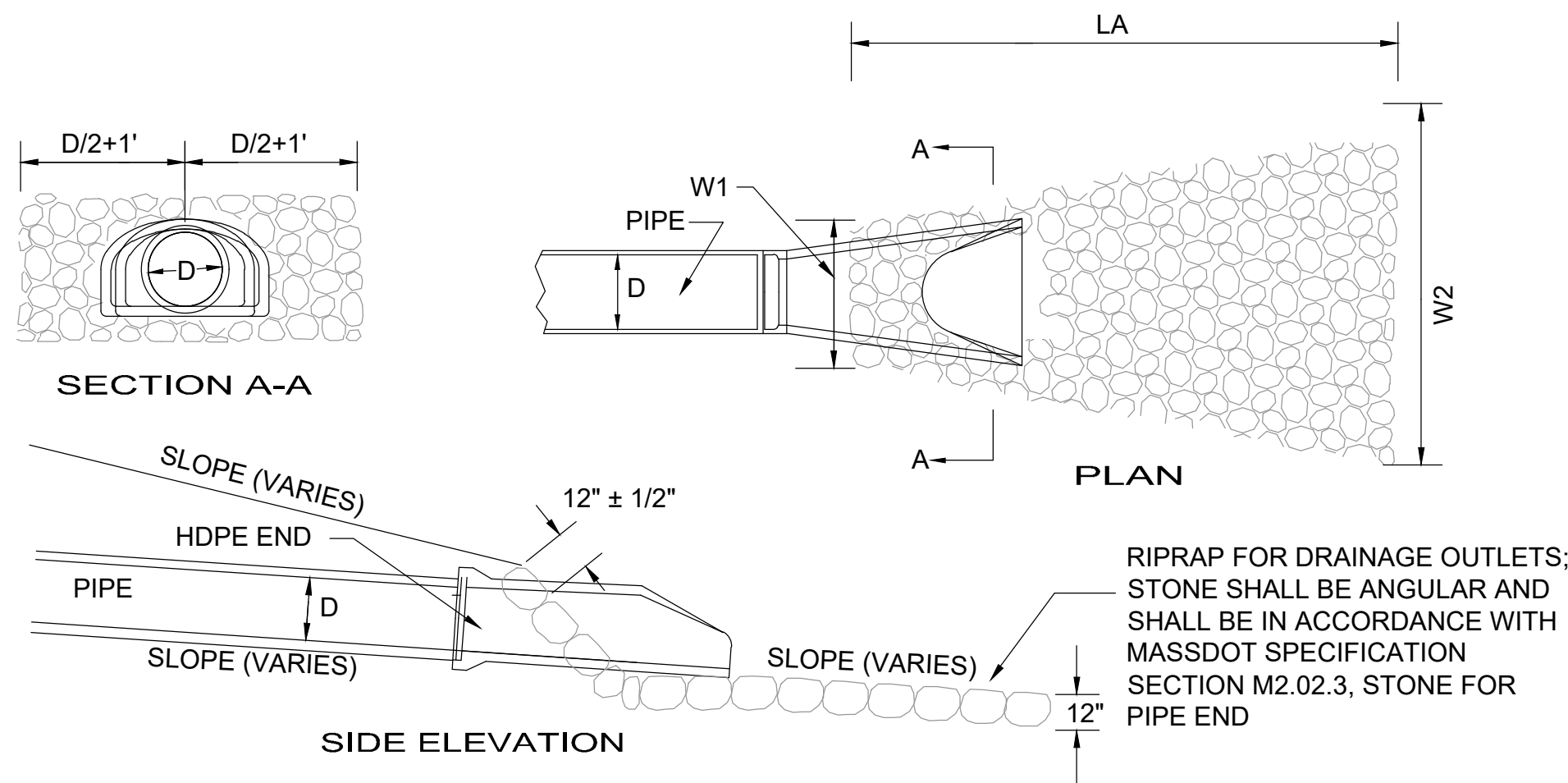


1 ADA RAMP - TYPE C
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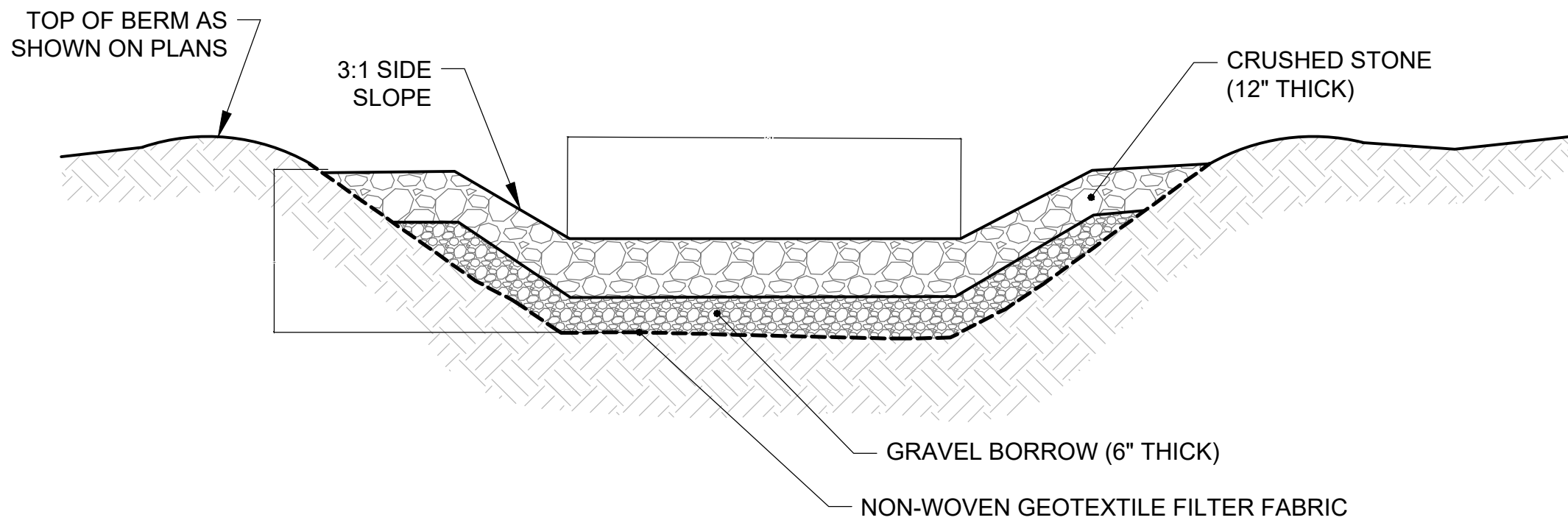
- NOTES:
- CONTRACTOR SHALL PROVIDE CLEAN AND STRAIGHT SAWCUT LINES AT LIMIT OF REMOVAL OF EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR SHALL VERIFY LIMITS OF EXISTING ASPHALT PAVEMENT REMOVAL PRIOR TO COMMENCING DEMOLITION.
 - CONTRACTOR SHALL REMOVE AND REPLACE ASPHALT PAVEMENT, GRAVEL BORROW, AND SUBGRADE NECESSARY TO CONSTRUCT A CLEAN, SMOOTH TRANSITION AT ADA CURB CUT.

4 ADA RAMP - TYPE A
SCALE: N.T.S.

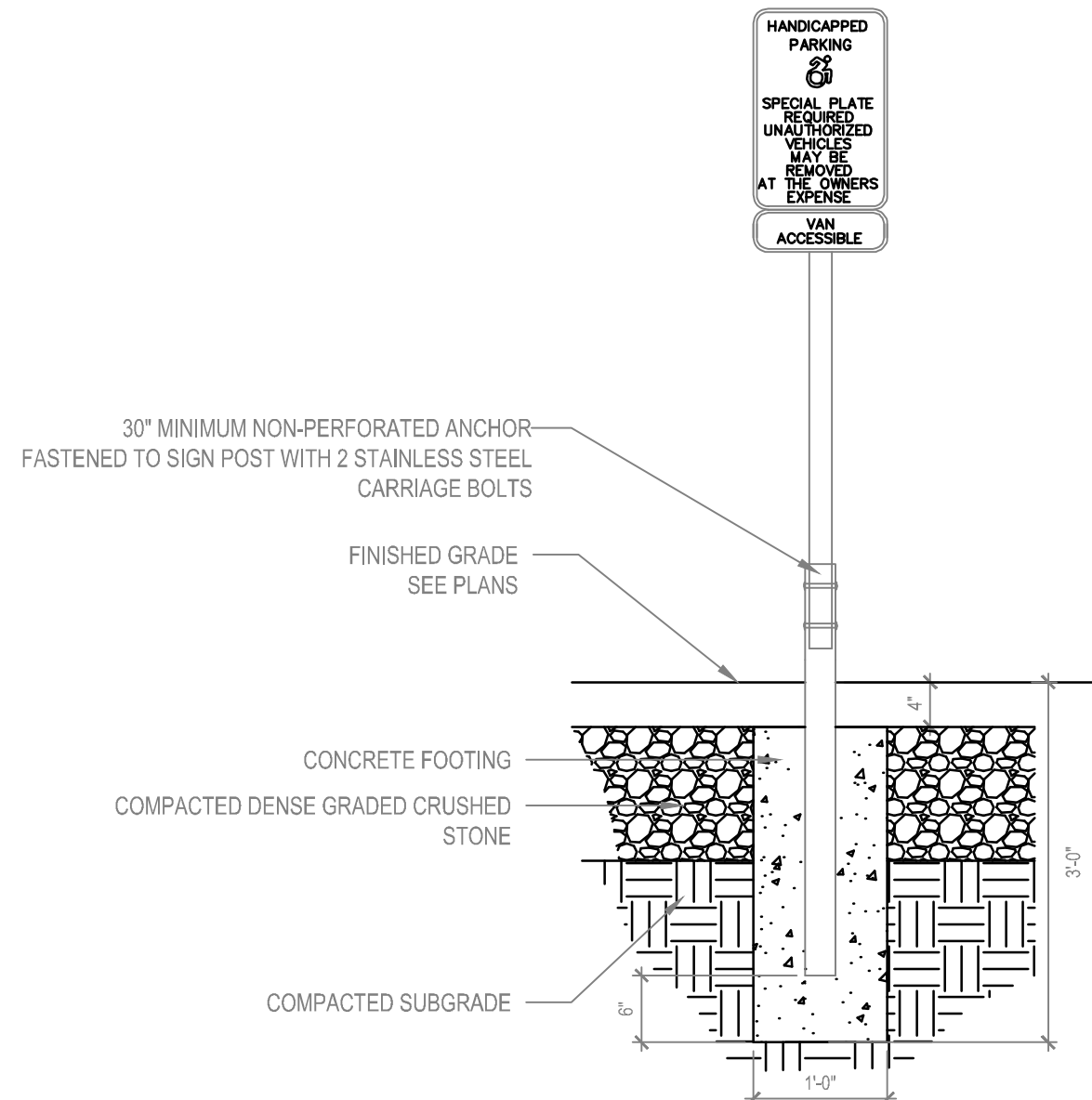


- NOTE:
- BACKFILLING OF TRENCH ABOVE WOOD TRACER PLANK SHALL BE IN LAYERS OF NOT OVER 6" COMPACTED THOROUGHLY.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR EXCAVATION & BACKFILL FOR ELECTRIC/COMMUNICATION CONDUIT. ELECTRICAL CONTRACTOR SHALL PROVIDE & INSTALL CONDUITS & SPACERS.
 - REFER TO ELECTRICAL PLANS FOR CONDUIT QUANTITIES & LOCATIONS.

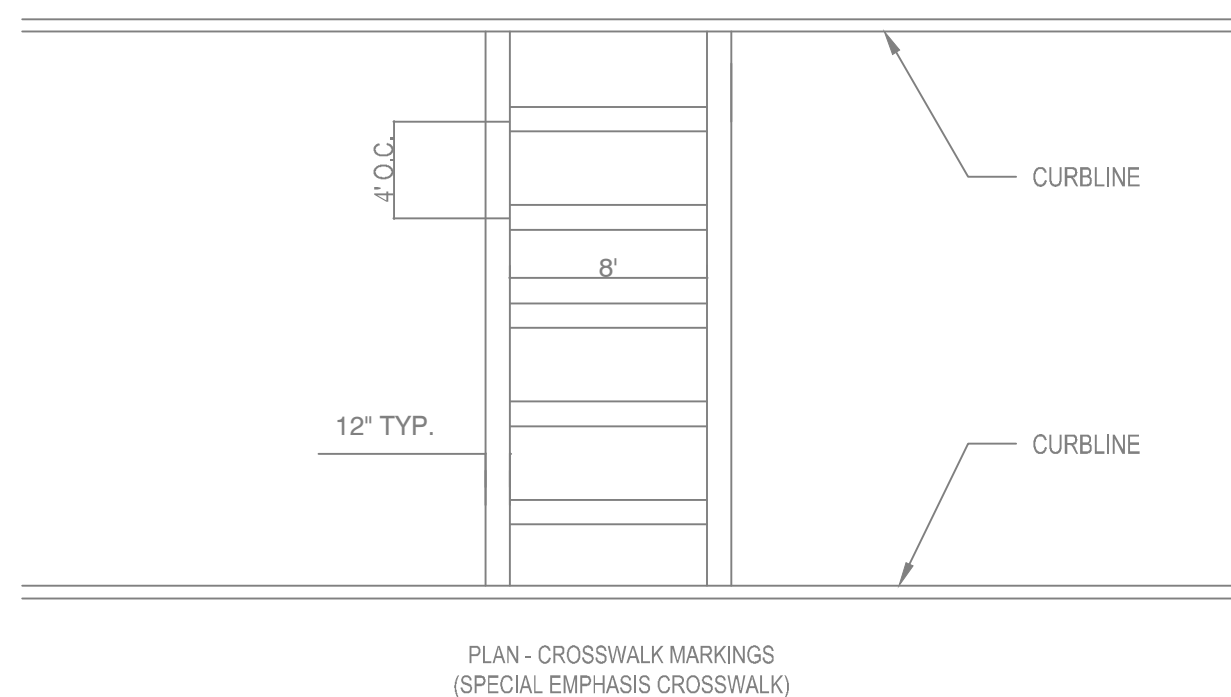
3 ELECTRIC/COMMUNICATION CONDUIT TRENCH DETAIL
SCALE: N.T.S.



5 RIPRAP BASIN SPILLWAY
SCALE: N.T.S.



6 ACCESSIBLE PARKING SPACE SIGN
SCALE: N.T.S.



- NOTES:
- SEE SPECIFICATIONS FOR ALL PAVEMENT MARKINGS.
 - UNIVERSAL WHITE PAINTED ADA SYMBOL PLACED IN A BLUE PAINTED FIELD.

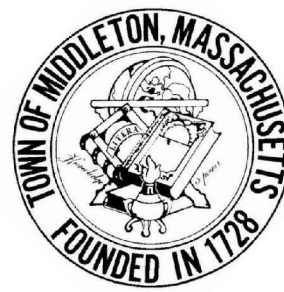
9 ACCESSIBLE PARKING SPACE MARKINGS
SCALE: N.T.S.

- NOTES:
- ALL 12" THERMOPLASTIC LINES SHALL BE APPLIED IN ONE (1) APPLICATION, NO COMBINATION OF LINES (I.E. TWO 6" LINES WILL BE ACCEPTED).
 - LAYOUT OF CROSSWALKS SHALL BE APPROVED BY A BTD ENGINEER PRIOR TO THERMOPLASTIC BEING APPLIED.
 - ALL CROSSWALK INSTALLED SHALL CONFORM TO ALL REFLECTANT PROVISIONS OF THE MASSACHUSETTS HIGHWAY DEPARTMENT 'STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES' DATED 1988, SECTION 860 REGARDING REFLECTORIZED PAVEMENT MARKINGS AND MATERIALS M7.01.20, LATEST REVISIONS.
 - SPECIAL EMPHASIS CROSSWALKS SHALL BE INSTALLED AT THE DIRECTION OF A BTD ENGINEER ONLY.

8 CROSSWALK PAVEMENT MARKINGS
SCALE: N.T.S.

7 FLARED END PIPE DETAIL
SCALE: N.T.S.

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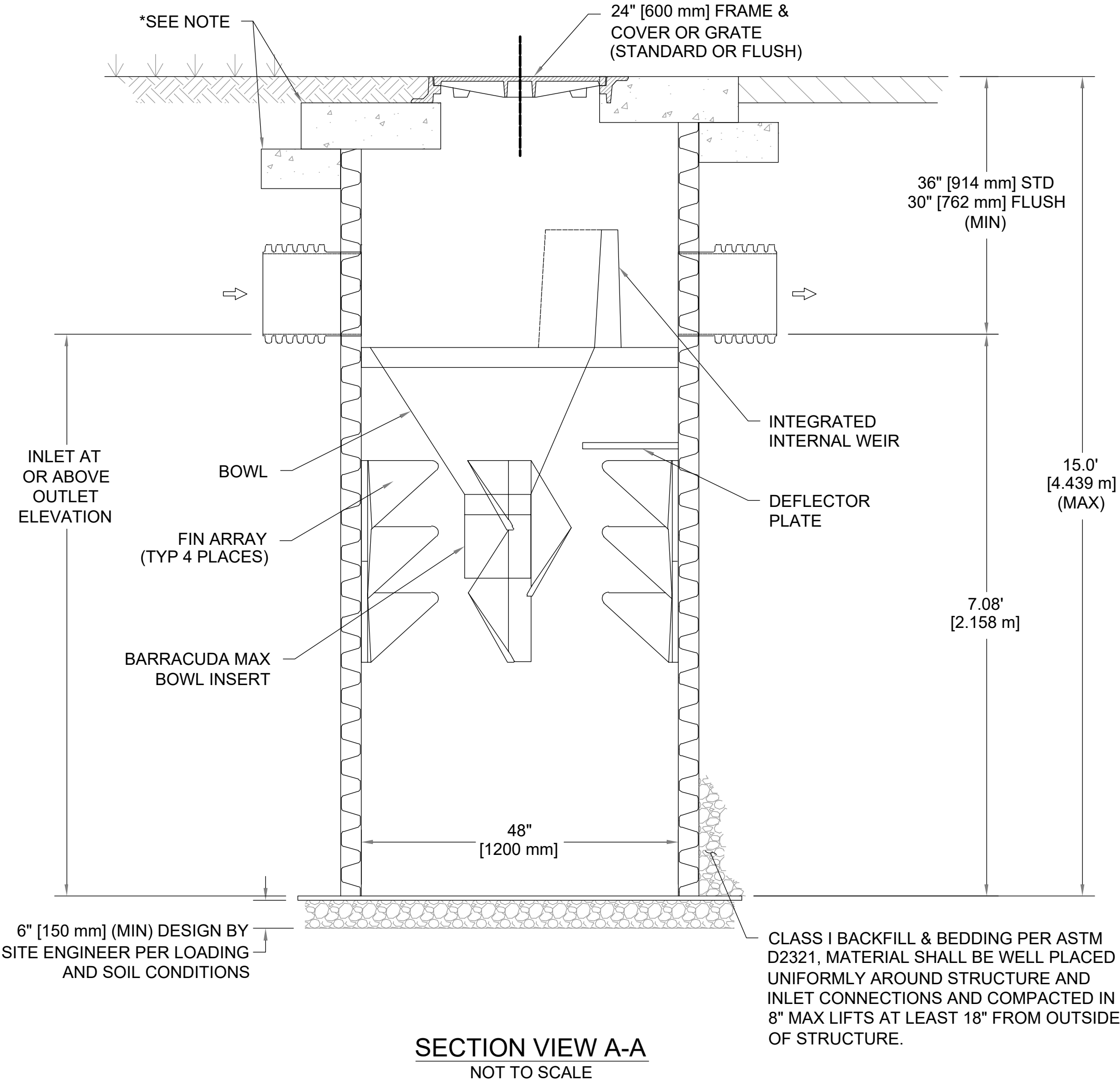
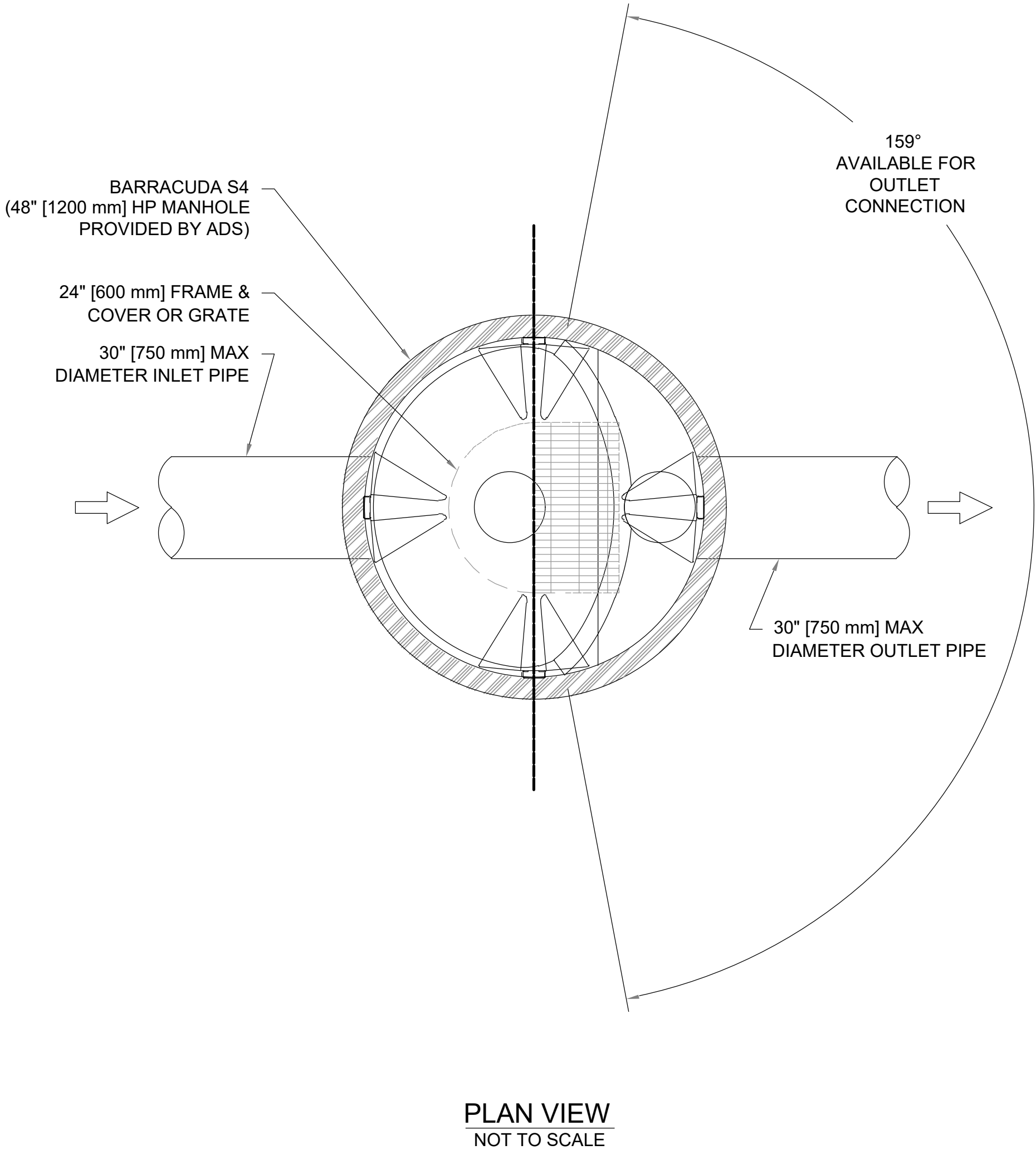
PRODUCT SPECIFICATIONS

- THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL-SCALE THIRD PARTY TESTING USING OK-110 MEDIA GRADATION OR EQUIVALENT AND 300 mg/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.
- OR-
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH d50=75 MICRON AND 200 MG/L INFLUENT CONCENTRATION.
- OR-
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER PREVIOUS 2013 NJDEP/NJCAT HDS PROTOCOL.

ATTENTION

THIS TREATMENT UNIT WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON GROUNDWATER LEVELS. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE GROUNDWATER LEVEL RELATIVE TO THE BURIED DEPTH OF THE UNIT. IF THE GROUNDWATER DEPTH ABOVE THE BOTTOM OF THE SUMP EXCEEDS ONE-THIRD THE DEPTH OF THE UNIT, CONTACT ADS FOR SOLUTIONS. SEE TECHNICAL NOTE 5.22 FOR GUIDANCE.

BARRACUDA MAX S4		
	CFS	L/s
NJDEP (50% Removal)	1.52	43.0
OK-110 (80% Removal)	1.52	43.0



NOTES:

- ENGINEER / CONTRACTOR TO CONFIRM PIPE MATERIALS AND APPLICABLE ADAPTERS
- CONTRACTOR IS RESPONSIBLE FOR MATERIAL AND LABOR TO BRING CASTINGS TO FINISHED GRADE
- CONTRACTOR TO MEASURE HEIGHT OF STRUCTURE TO ENSURE THAT DEPTH OF EXCAVATION IS CORRECT.
- UNIT SHALL CONFORM TO HS20-44 LOAD RATINGS.
- STUB SIZES SMALLER THAN 12" (300 mm) REQUIRE THE USE OF AN INSERTA TEE

* CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

9 BARRACUDA MAX S4 MANHOLE CONCRETE TOP SLAB

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Scale: AS SHOWN

Date: 12/19/2025
Drawn By: JG
Reviewed By: EBL
Approved By: AMC
W&S Project No.: ENG25-0131
W&S File No.:

Drawing Title:

DETAILS

Sheet Number:

C504