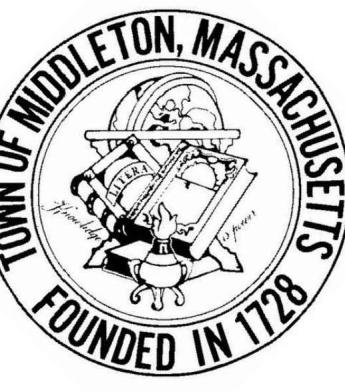
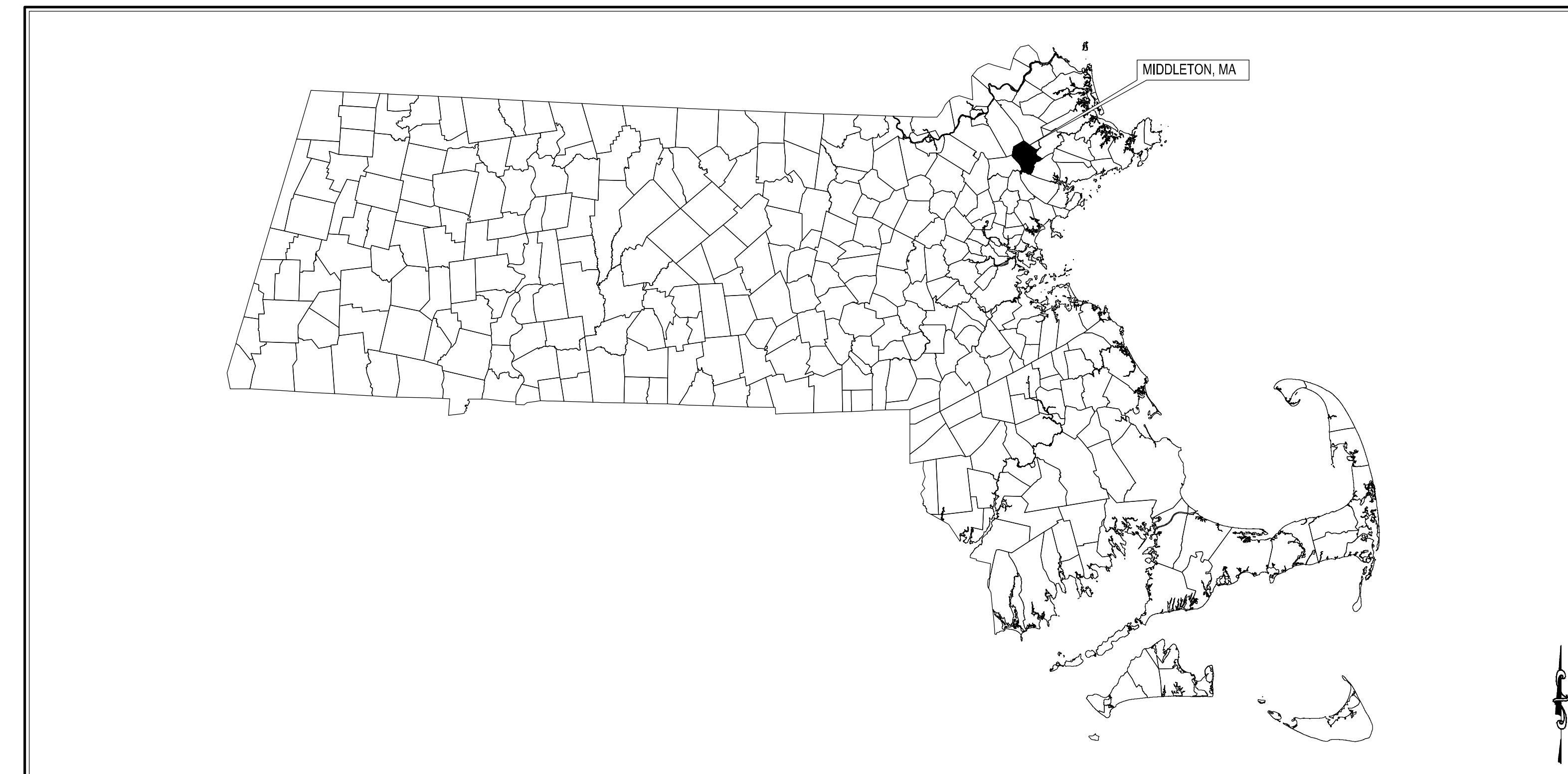


# FERNCROFT APARTMENTS RESIDENTIAL COMMUNITY

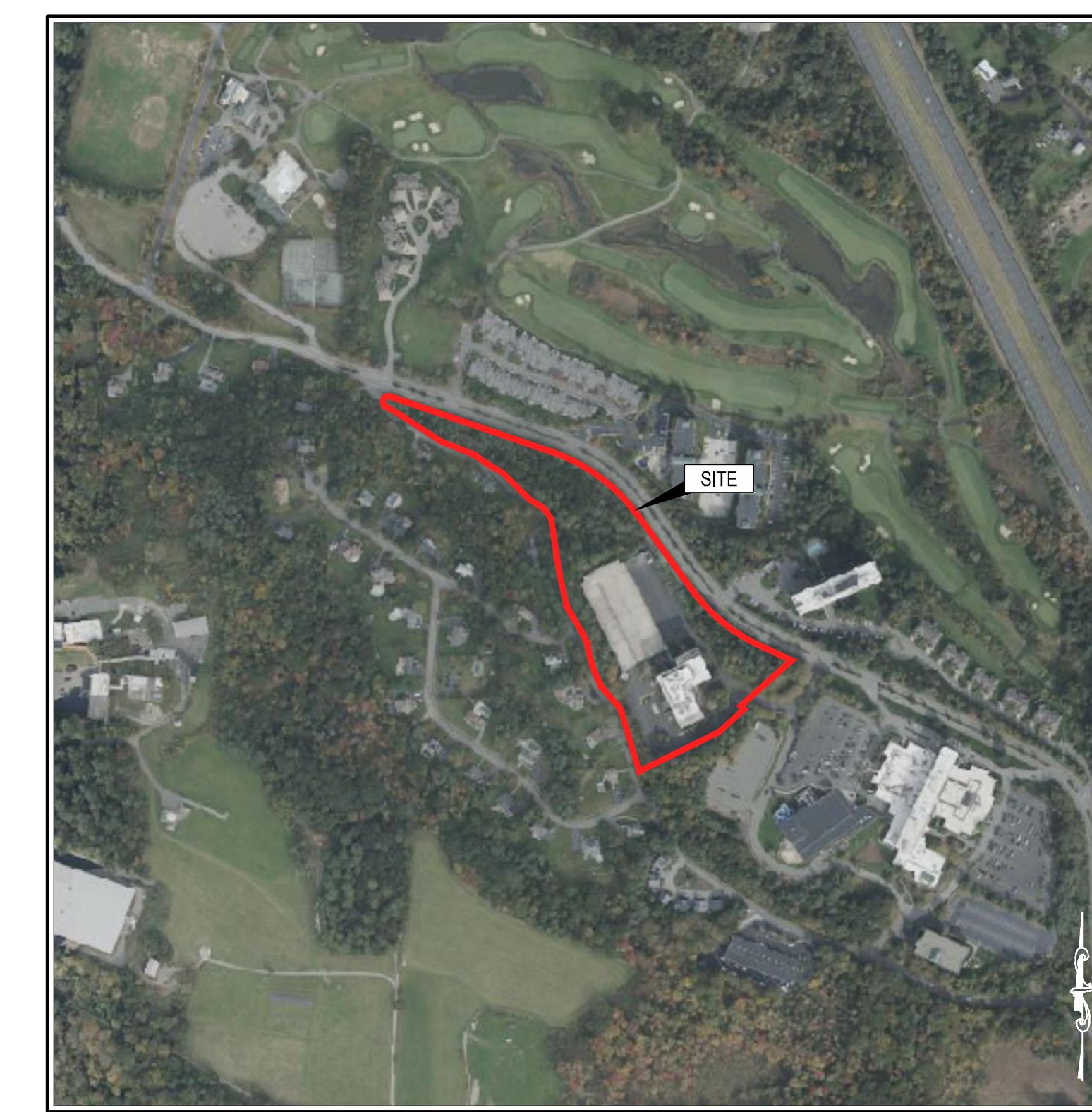
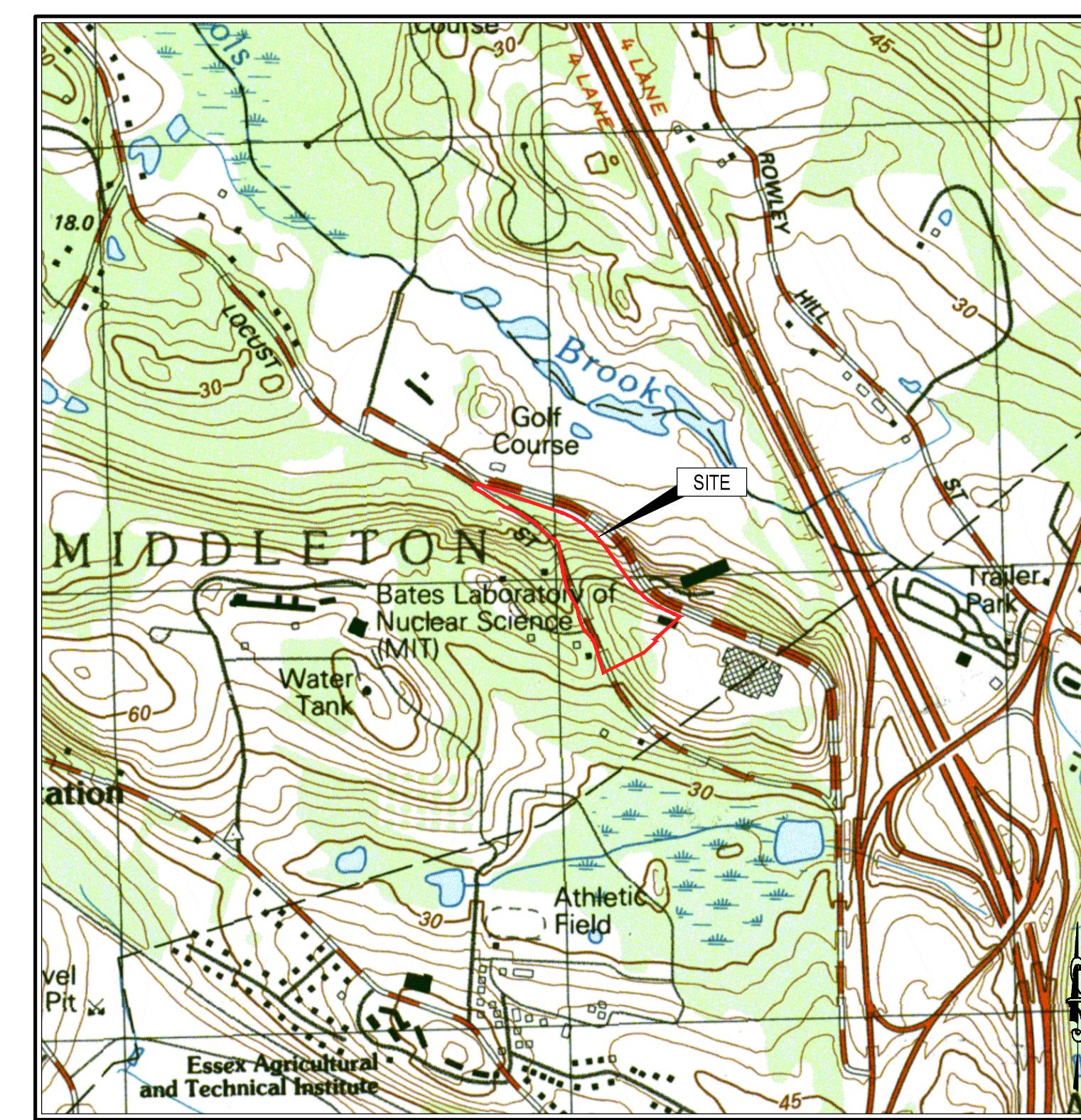
35 VILLAGE ROAD, MIDDLETON, MA 01949



DRAWING INDEX	
SHEET	TITLE
GENERAL	
G000	COVER SHEET
G001	ABBREVIATIONS, LEGEND AND GENERAL NOTES
SURVEY	
	EXISTING CONDITIONS SURVEY
V101	PRELIMINARY LOTTING PLAN
CIVIL	
C001	KEY SHEET
C100-C101	SITE PREPARATION EROSION & SEDIMENTATION CONTROL PLAN
C110-C111	PROPOSED LAYOUT AND MATERIALS PLAN
C120-C121	PROPOSED GRADING AND UTILITY PLAN
C500-C504	DETAILS



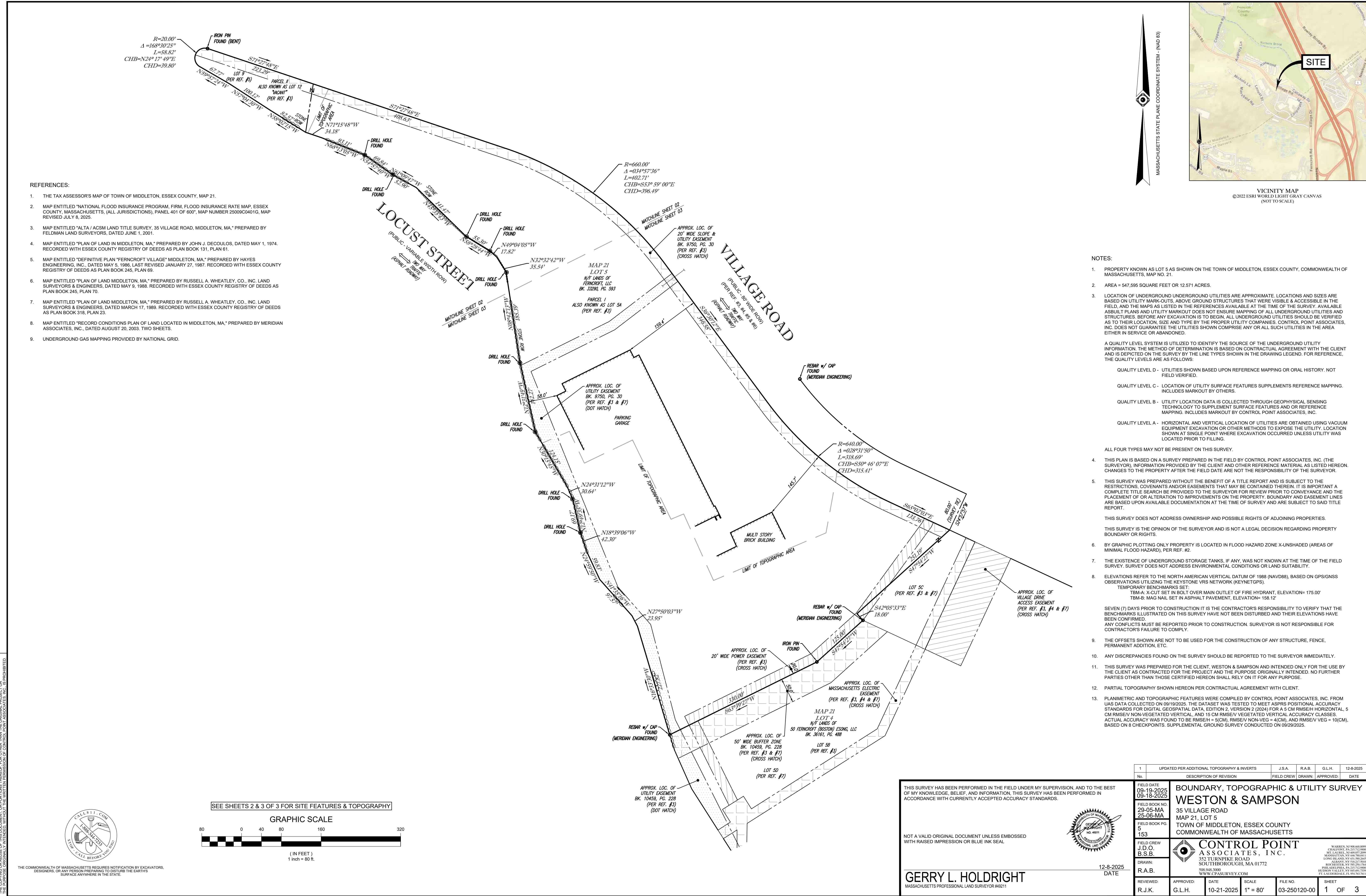
SITE INFORMATION	
SITE ADDRESS:	#35 VILLAGE ROAD
MAP NUMBER:	21
LOT:	5
LAND OWNER:	FERNCROFT, LLC
OWNER ADDRESS:	#780 THIRD AVE, SUITE 2201 NEW YORK, NEW YORK 10017
PARCEL AREA:	12.5± ACRES
ZONING:	INTERSTATE HIGHWAY BUSINESS (IH) & RESIDENTIAL DISTRICT (40,000 s.f.) R-1b (R-1b)

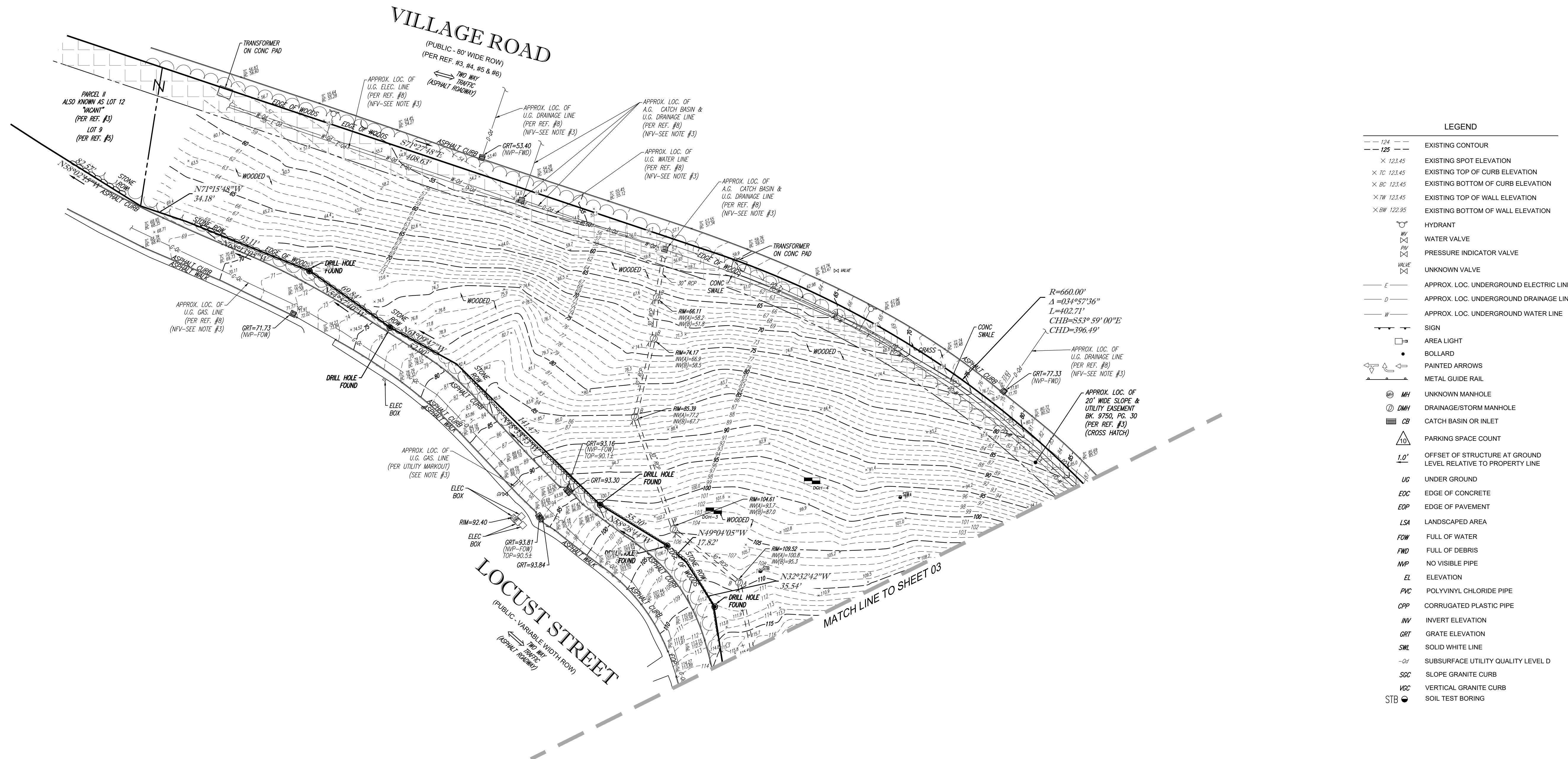


REV #	DESCRIPTION	DATE	Seal	Issued For:	Drawn By:
				COMPREHENSIVE PERMIT PLAN (NOT FOR CONSTRUCTION)	JG
				Reviewed By:	EBL
				Issued Date:	12/19/2025
				Approved By:	AMC
				Job No.:	ENG25-0131
				Drawing Title:	COVER SHEET
				Sheet Number:	G000









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SURFACE ANYWHERE IN THE STATE.

SEE SHEET 1 OF 3 FOR NOTES AND REFERENCES

GRAPHIC SCALE

40      0      20      40      80      160

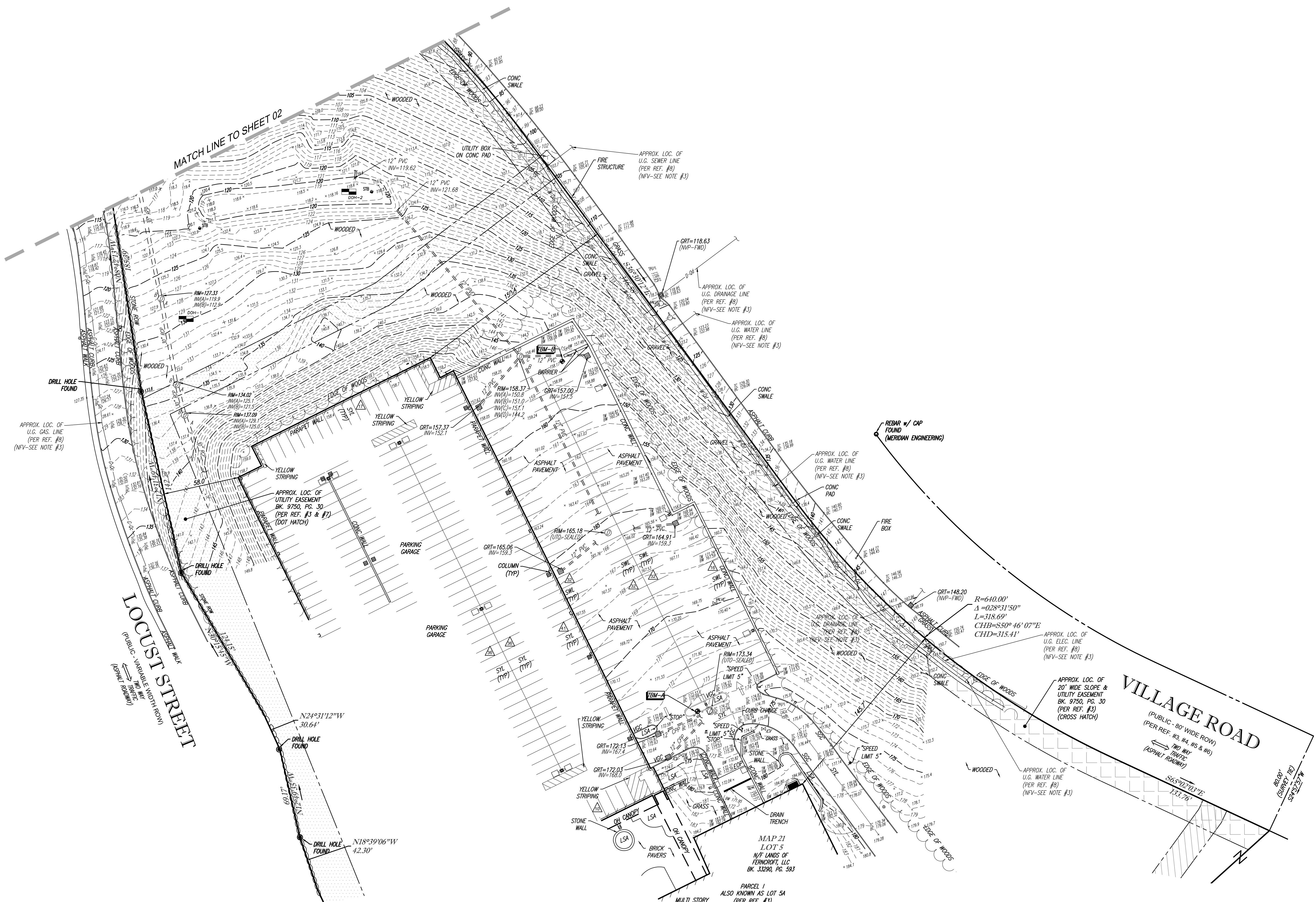
( IN FEET )

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED  
WITH RAISED IMPRESSION OR BLUE INK SEAL

---

**GERRY L. HOLDRIGHT**  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



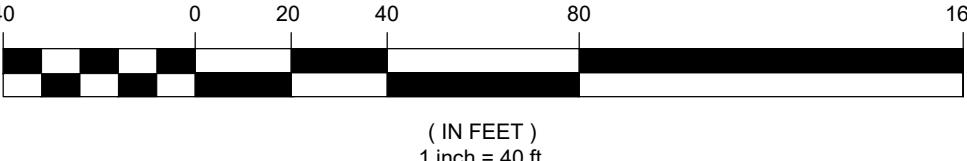
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SEE SHEET 1 OF 3 FOR NOTES AND REFERENCES

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THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.



# GERRY L. HOLDRIGHT

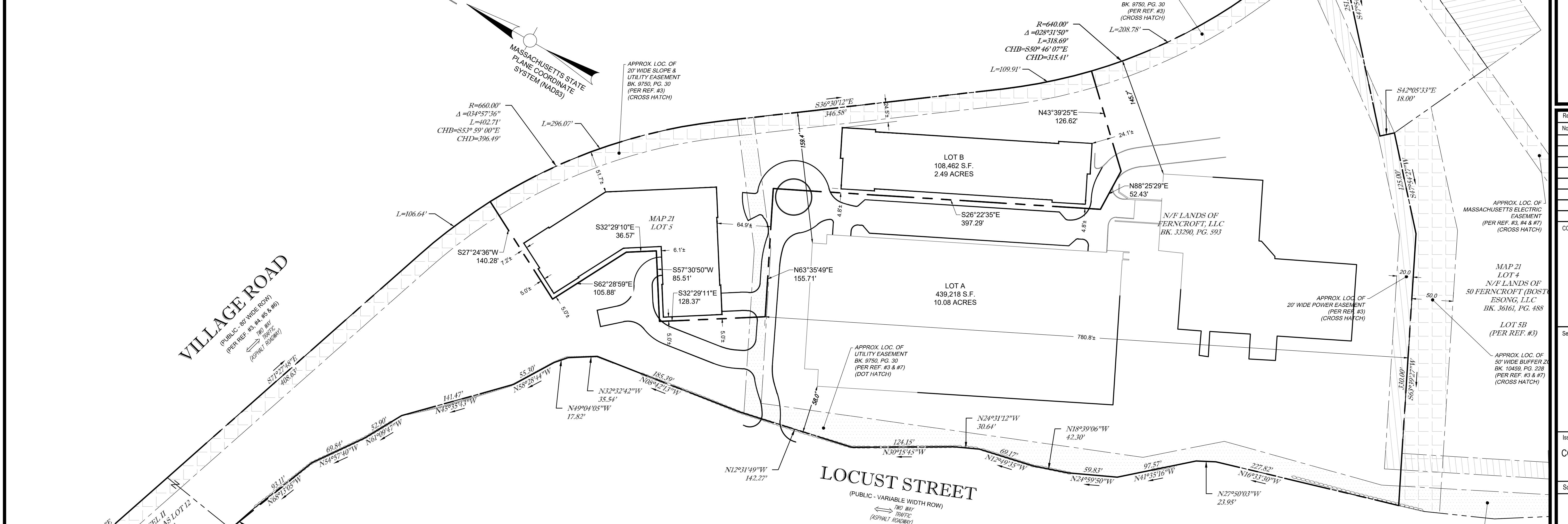
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

1	UPDATED PER ADDITIONAL TOPOGRAPHY & INVERTS			J.S.A.	R.A.B.	G.L.H.	12-8-2025
No.	DESCRIPTION OF REVISION			FIELD CREW	DRAWN:	APPROVED:	DATE
FIELD DATE 09-19-2025 09-18-2025	BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY  <h1>WESTON &amp; SAMPSON</h1>						
FIELD BOOK NO. 29-05-MA 25-06-MA	35 VILLAGE ROAD MAP 21, LOT 5 TOWN OF MIDDLETON, ESSEX COUNTY COMMONWEALTH OF MASSACHUSETTS						
FIELD BOOK PG. 5 153	CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 WWW.CPASURVEY.COM						
FIELD CREW J.D.O. B.S.B.	WARREN, NJ 908.668.0099 CHALFONT, PA 215.712.9800 MT. LAUREL, NJ 609.857.2099 MANHATTAN, NY 646.780.0411 LONG ISLAND, NY 631.580.2645 ALBANY, NY 518.217.5010 ROCHESTER, NY 585.250.1764 PHILADELPHIA, PA 215.712.9800 HUDSON VALLEY, NY 845.691.7339 FT. LAUDERDALE, FL 954.763.7611						
DRAWN: R.A.B.	APPROVED: G.L.H.	DATE 10-21-2025	SCALE 1" = 40'	FILE NO. 03-250120-00	SHEET 3 OF 3		
REVIEWED: R.J.K.							

Zoning Table Developed Lot		
	Required	Proposed
Lot Area	160,000 S.F.	439,218 S.F.
Frontage	400 Ft.	1,753.67 Ft. (Locust St)
Min. Lot Width Through Dwelling	400 Ft.	780.8 Ft.
Min Lot Width Between Principal Structure and Frontage	75% Width (300 Ft.)	780.8 Ft.
Setback Main Bldg.		
Front	50 Ft.	146.1 Ft.*
Side	50 Ft.	51.5 Ft.
Rear	50 Ft.	--
Setback Garage		
Front	50 Ft.	58.0 Ft.
Side	50 Ft.	51.5 Ft.
Rear	50 Ft.	51.5 Ft.
Lot Coverage Bldg.	25%	23±%*
Max. Bld. Ht.	125 Ft.	107.0*
Max. Bld. Stories	None	8*

Zoning Table Proposed Lot		
	Required	Proposed
Lot Area	160,000 S.F.	108,462 S.F.
Frontage	400 Ft.	752.56 Ft. (Village Rd)
Min. Lot Width	400 Ft.	129.10 Ft.
Setback Bldg. A		
Front	50 Ft.	24.5 Ft.
Side	50 Ft.	24.1 Ft.
Rear	50 Ft.	4.8 Ft.
Setback Bldg. B		
Front	50 Ft.	51.7 Ft.
Side	50 Ft.	5.0 Ft.
Rear	50 Ft.	5.0 Ft.
Lot Coverage Bldg.	25%	39±%
Max. Bld. Ht.	125 Ft.	67 Ft.
Max. Bld. Stories	None	5

\* - DENOTES INFORMATION TAKEN FROM AN ALTA PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY" BY FLEDMAN LAND SURVEYORS DATED JUNE 1, 2001 REVISED THROUGH MAY 13, 2014.

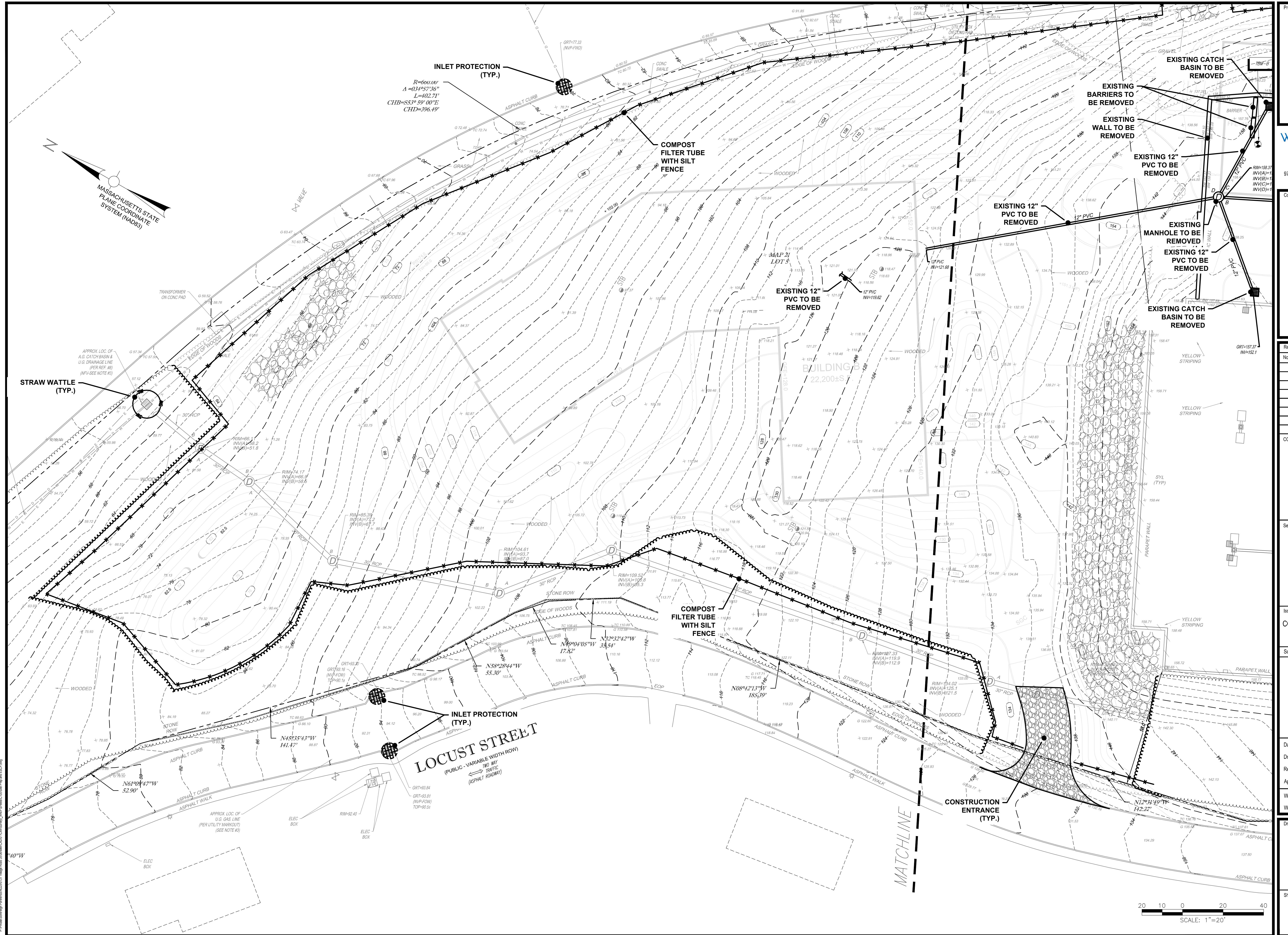


NOTES:

- 1) THE PURPOSE OF THIS PLAN IS FOR GENERAL DISCUSSION AS IT RELATES TO THE COMPREHENSIVE PERMIT.
- 2) A PLAN STAMPED BY A LICENSED SURVEYOR WILL BE PROVIDED PRIOR TO THE ISSUANCE OF THE COMPREHENSIVE PERMIT.

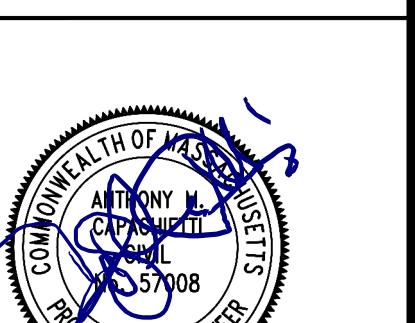
60 30 0 60 120  
SCALE: 1"=60'





No.	Date	Description

COA:



Issued For: COMPREHENSIVE PERMIT PLAN (NOT FOR CONSTRUCTION)

Scale: AS SHOWN

Date: 12/19/2025  
Drawn By: JG  
Reviewed By: EBL  
Approved By: AMC  
W&S Project No.: ENG25-0131  
W&S File No.:

Drawing Title: SITE PREPARATION EROSION & SEDIMENTATION CONTROL PLAN

Sheet Number: C100



ject:  
FERN CROFT APARTMENTS  
RESIDENTIAL COMMUNITY  
35 VILLAGE ROAD  
MIDDLETON, MA 01949



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consultants:

revisions:

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DA:



COMPREHENSIVE PERMIT PLAN  
(NOT FOR CONSTRUCTION)

\_\_\_\_\_

ate: 12/19/2025  
rawn By: JG  
viewed By: EBL  
proved By: AMC  
&S Project No.: ENG25-0131  
&S File No. :

awing Title:

# **SITE PREPARATION EROSION & SEDIMENTATION CONTROL PLAN**

Sheet Number:

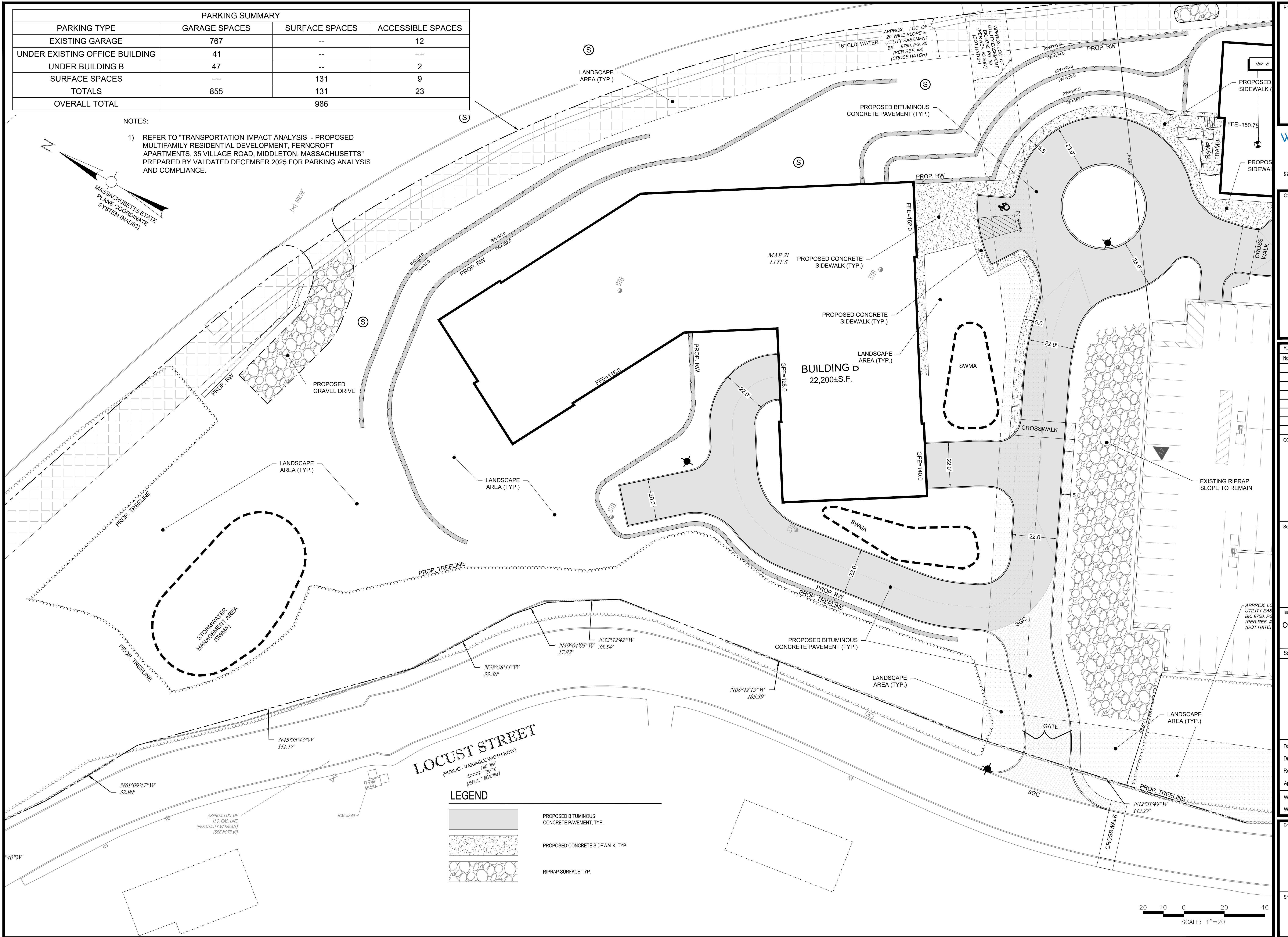
# C101

PARKING SUMMARY			
PARKING TYPE	GARAGE SPACES	SURFACE SPACES	ACCESSIBLE SPACES
EXISTING GARAGE	767	--	12
UNDER EXISTING OFFICE BUILDING	41	--	--
UNDER BUILDING B	47	--	2
SURFACE SPACES	--	131	9
TOTALS	855	131	23
OVERALL TOTAL		986	

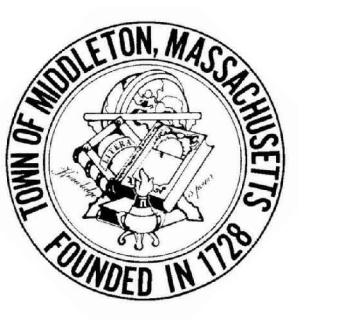
## NOTES:

- 1) REFER TO "TRANSPORTATION IMPACT ANALYSIS - PROPOSED MULTIFAMILY RESIDENTIAL DEVELOPMENT, FERN CROFT APARTMENTS, 35 VILLAGE ROAD, MIDDLETON, MASSACHUSETTS" PREPARED BY VAI DATED DECEMBER 2025 FOR PARKING ANALYSIS AND COMPLIANCE.

The logo for the Massachusetts State Plane Coordinate System (NAD83) features a circular icon with a horizontal line through it, resembling a compass rose. A diagonal line extends from the bottom-left of the circle to the top-right, and a curved line extends from the top-left of the circle to the bottom-right, creating a shape similar to a megaphone or a stylized 'M'.



object:  
FERN CROFT APARTMENTS  
RESIDENTIAL COMMUNITY  
35 VILLAGE ROAD  
MIDDLETON, MA 01949



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consultants:

Revisions:		
Rev.	Date	Description

DA:

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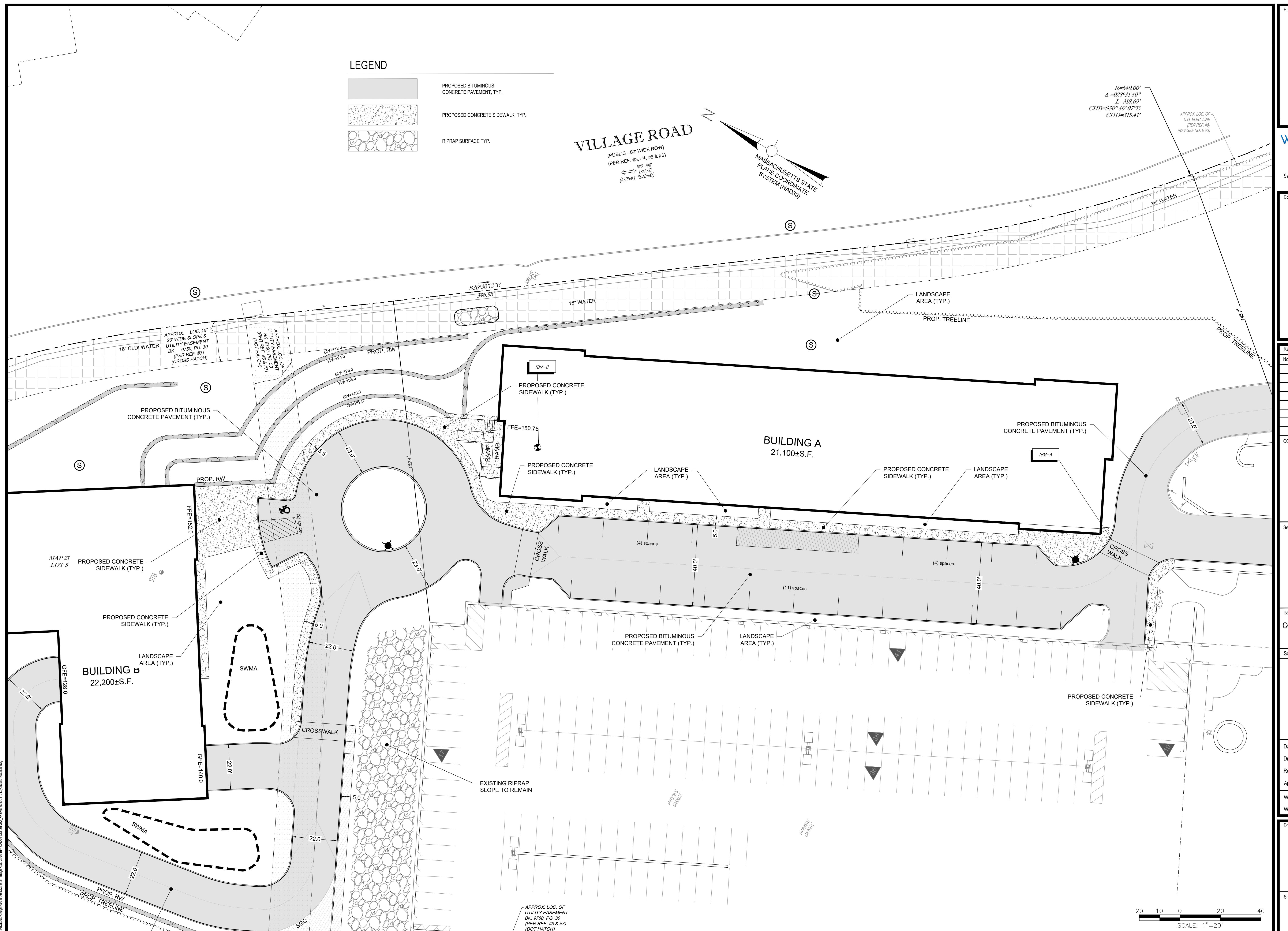
ate: 12/19/2025  
rawn By: JG  
eviewed By: EBL  
pproved By: AMC  
&S Project No.: ENG25-0131

Q1 File No.:

## LAYOUT AND MATERIAL PLAN

Post Number:

C110



ject:  
FERN CROFT APARTMENTS  
RESIDENTIAL COMMUNITY  
35 VILLAGE ROAD  
MIDDLETON, MA 01949



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consultants:

DA:



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**COMPREHENSIVE PERMIT PLAN  
(NOT FOR CONSTRUCTION)**

\_\_\_\_\_

Date: 12/19/2025  
Drawn By: JG  
Reviewed By: EBL  
Approved By: AMC

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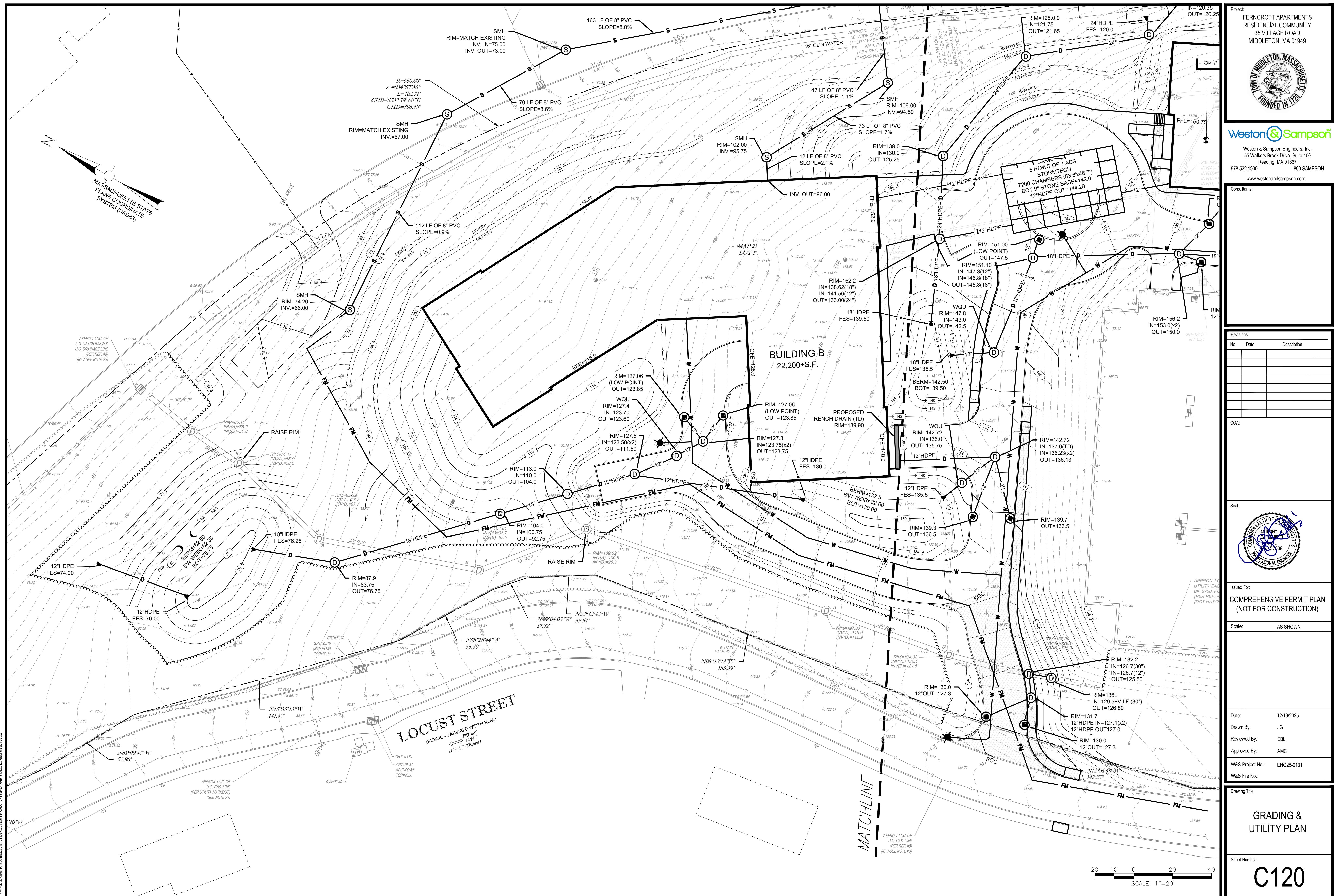
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&S File No. :

Drawing Title:

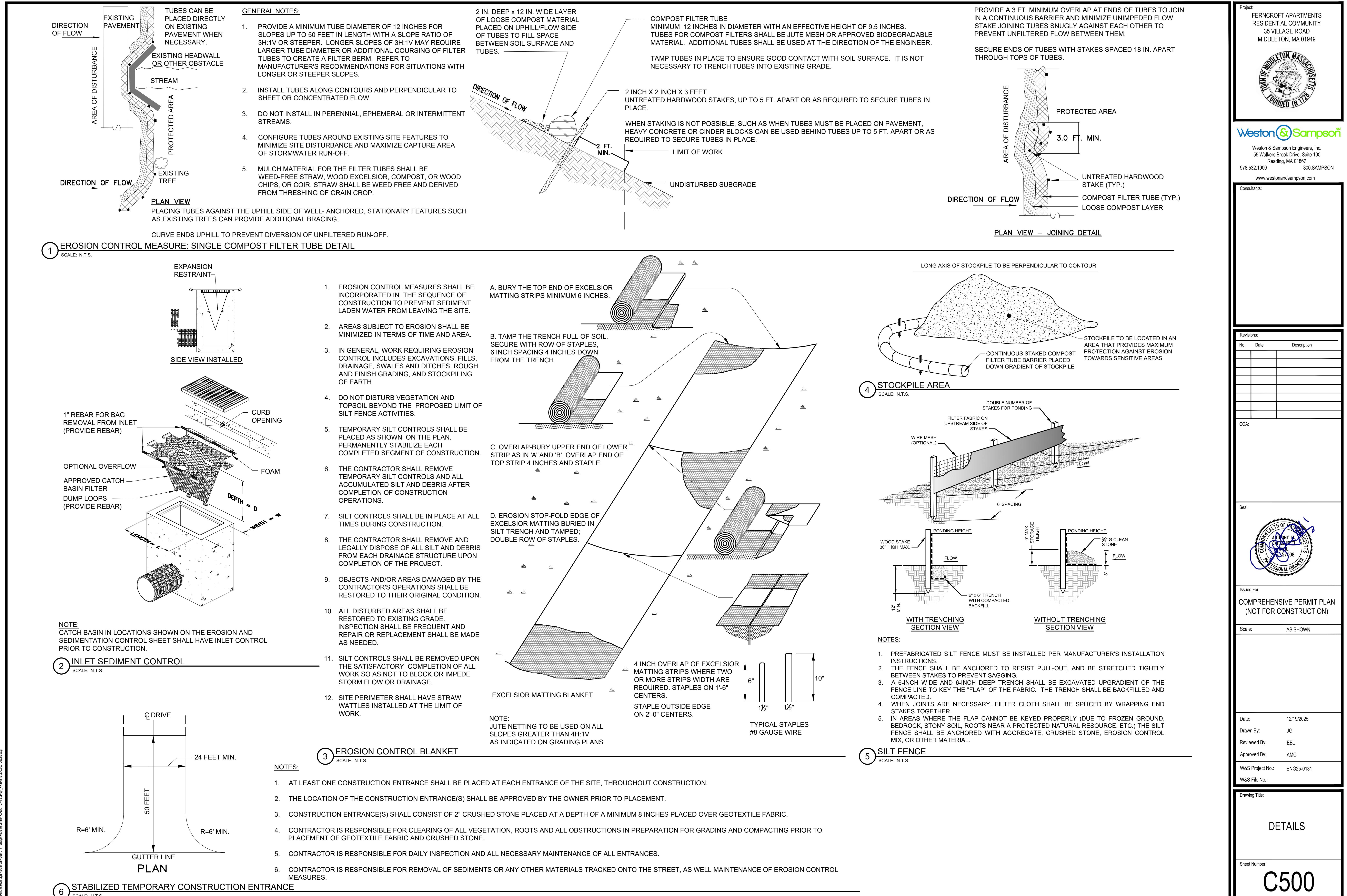
## LAYOUT AND MATERIAL PLAN

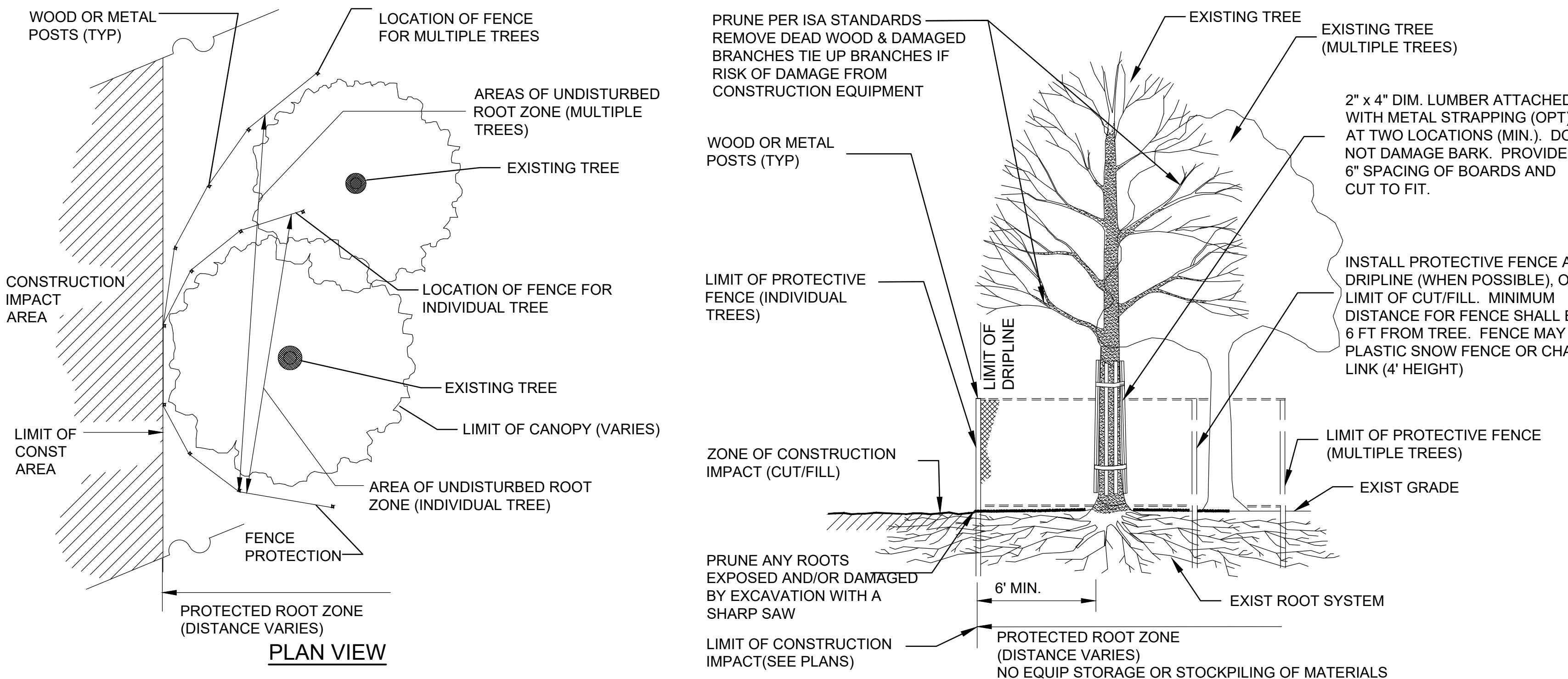
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CIII



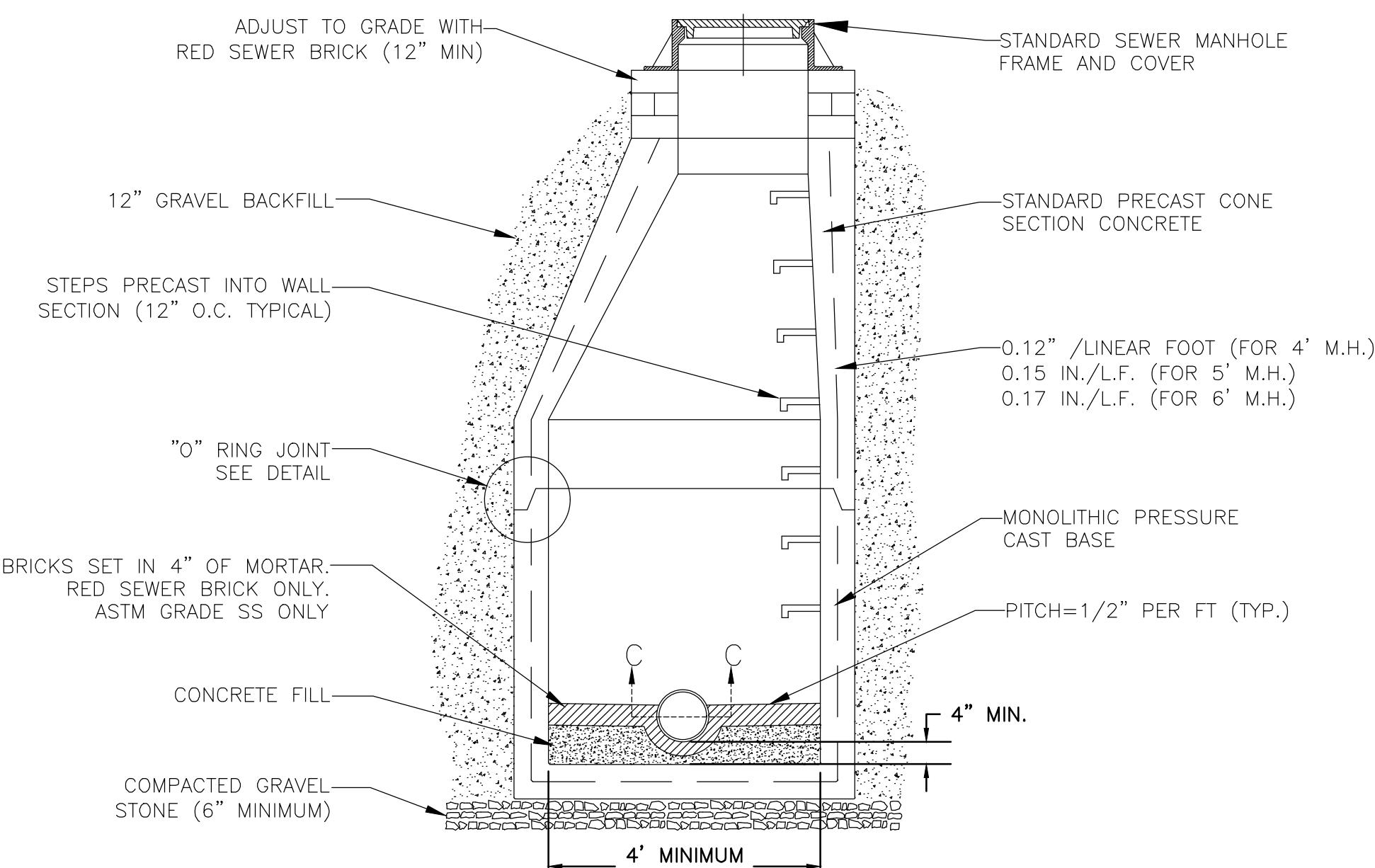






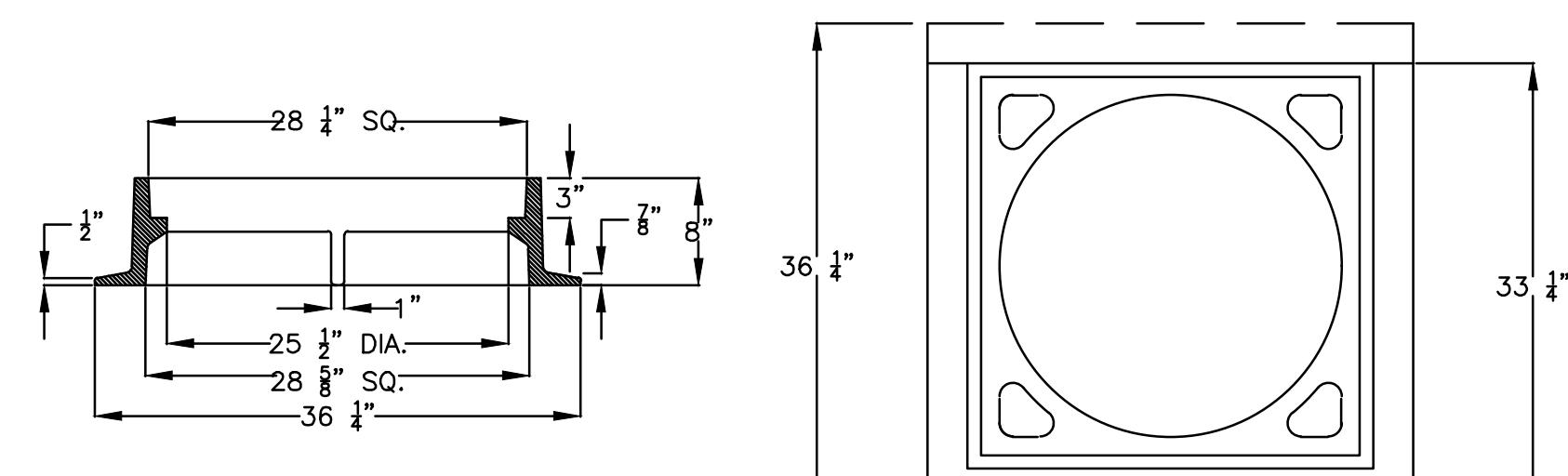
1 EXISTING TREE PROTECTION

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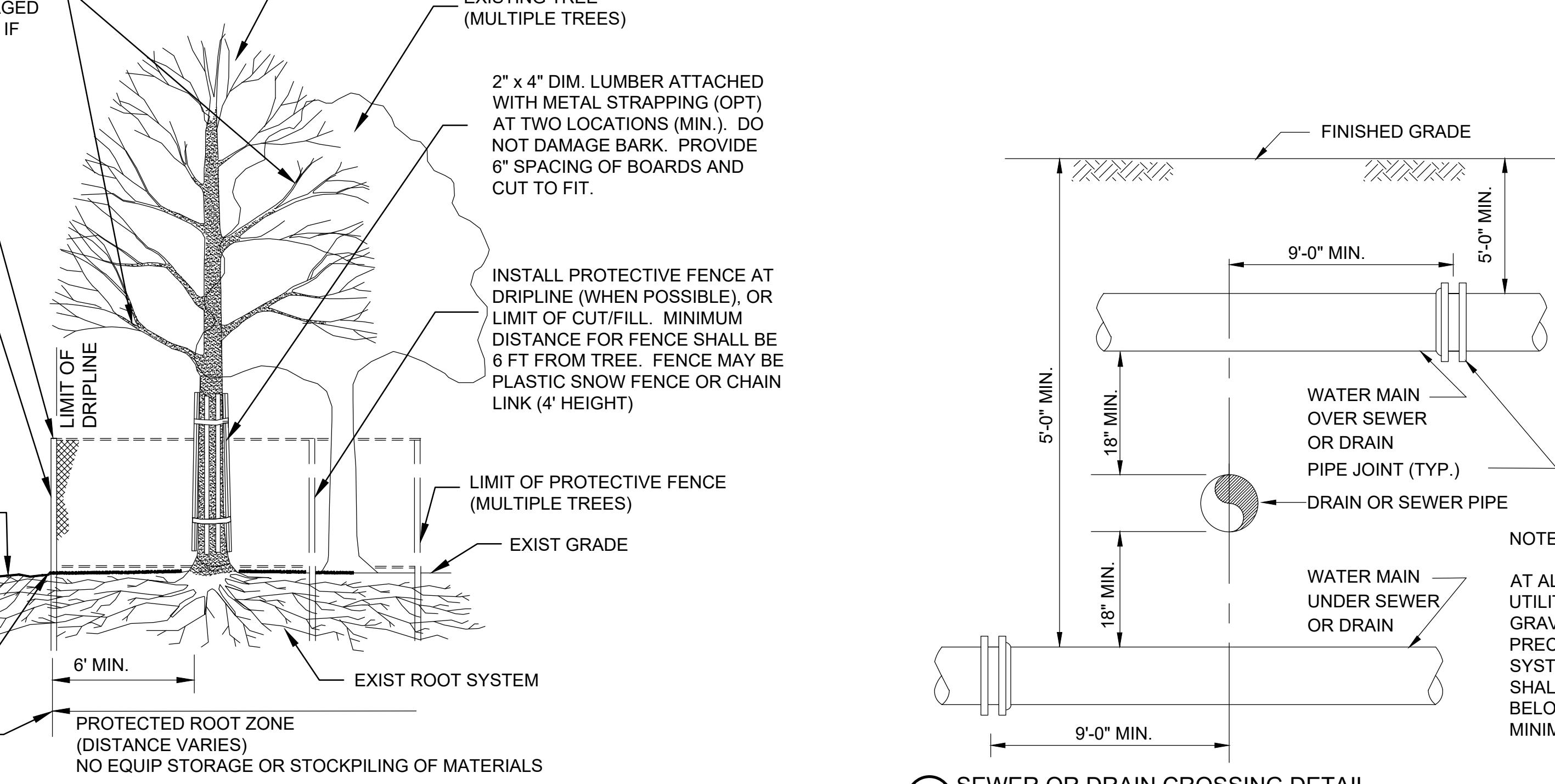
3 TYPICAL SEWER MANHOLE DETAIL

SCALE: N.T.S.



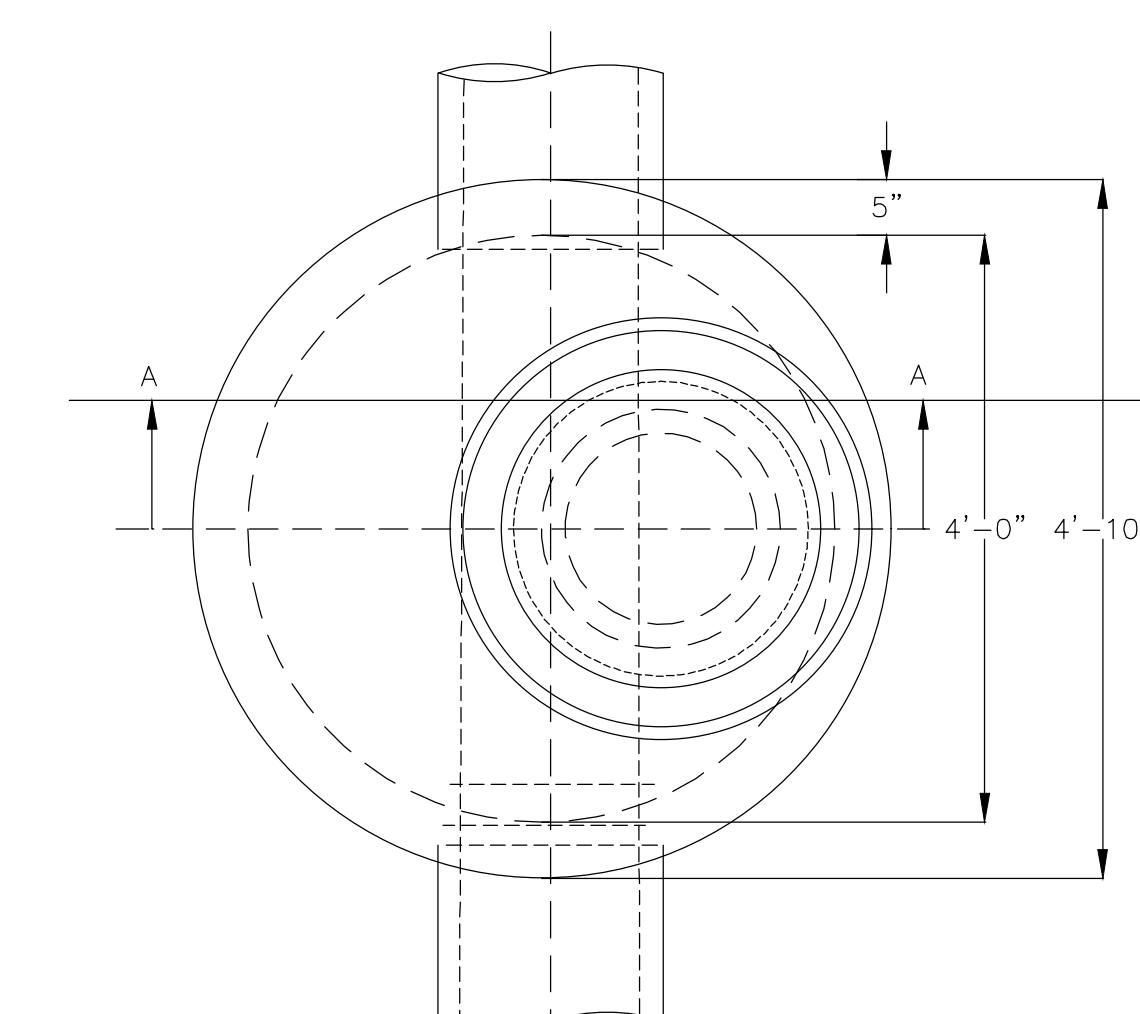
5 CATCH BASIN FRAME DETAIL

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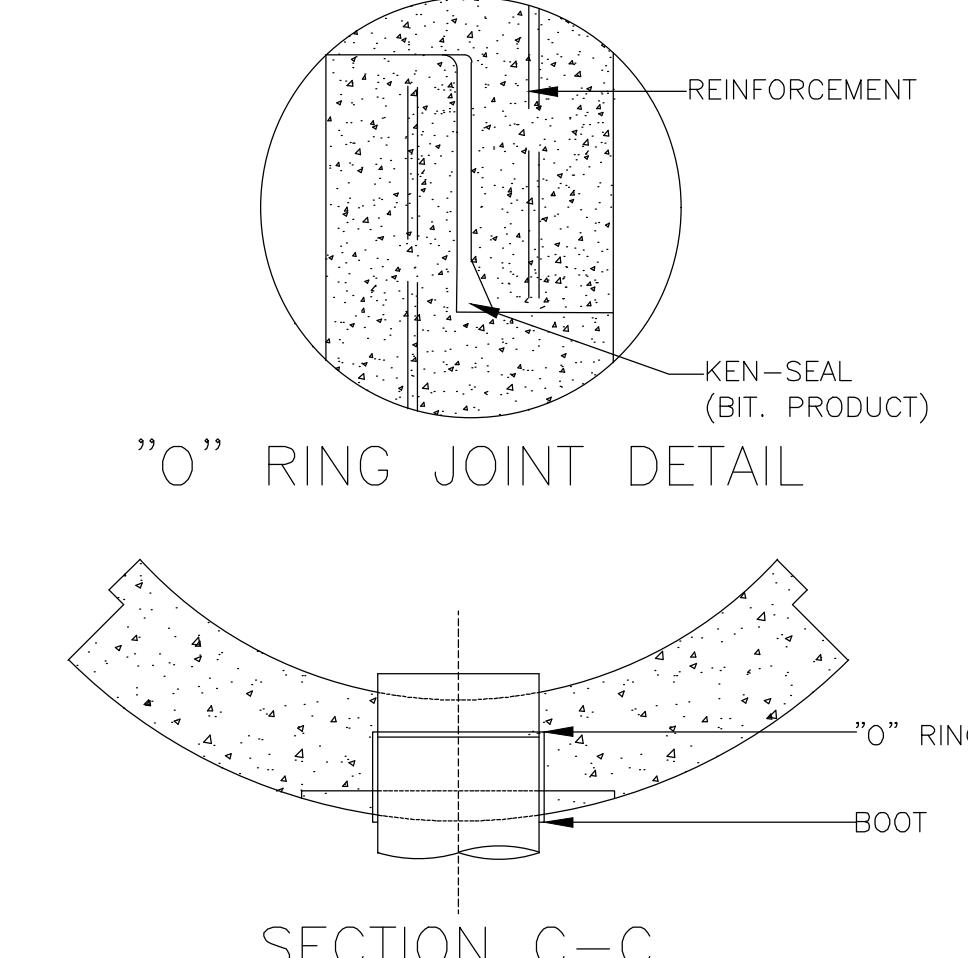


2 SEWER OR DRAIN CROSSING DETAIL

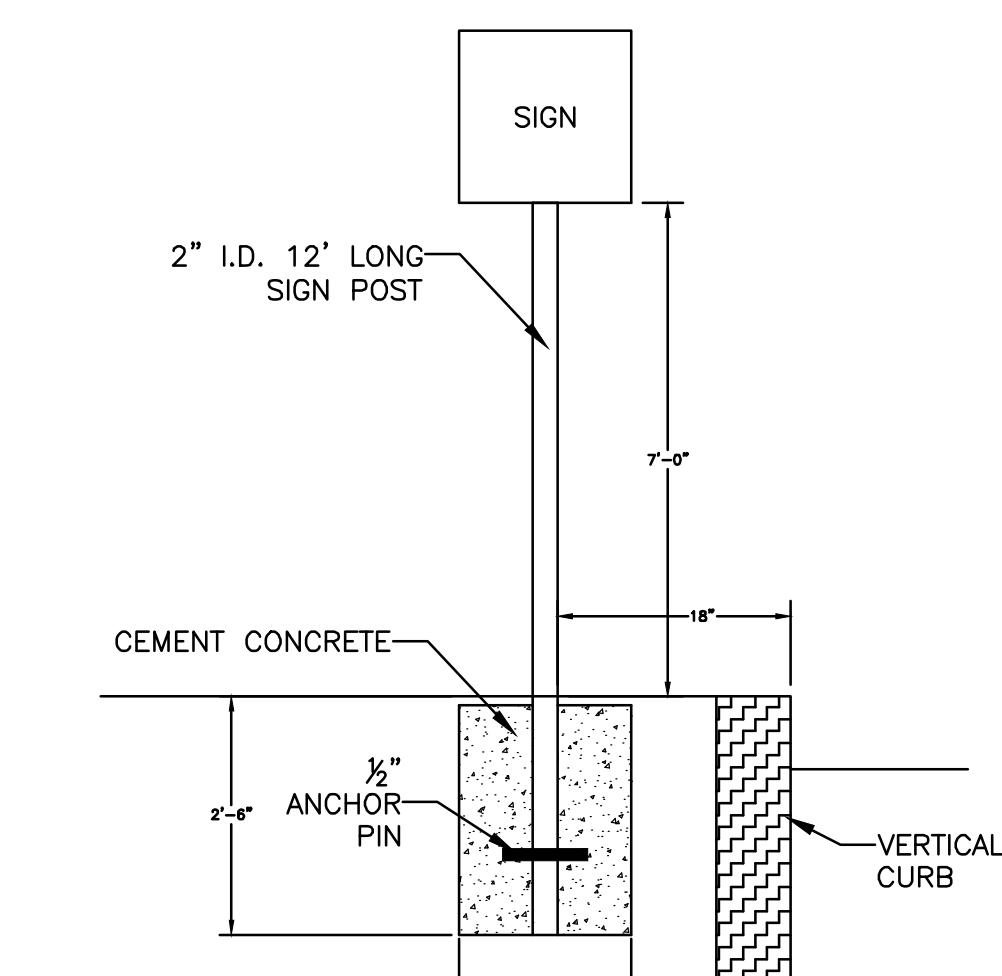
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PLAN VIEW

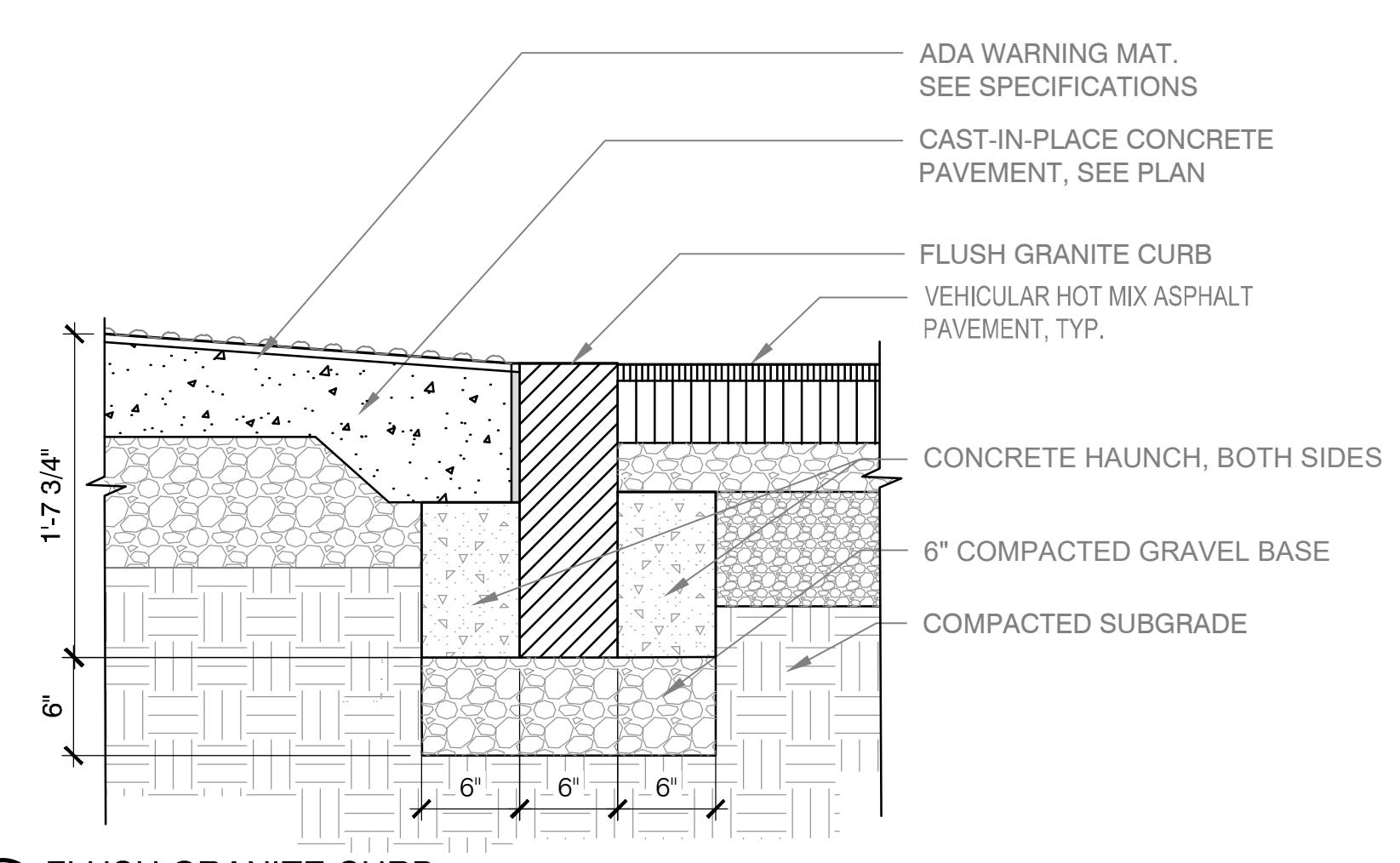


SECTION C-C



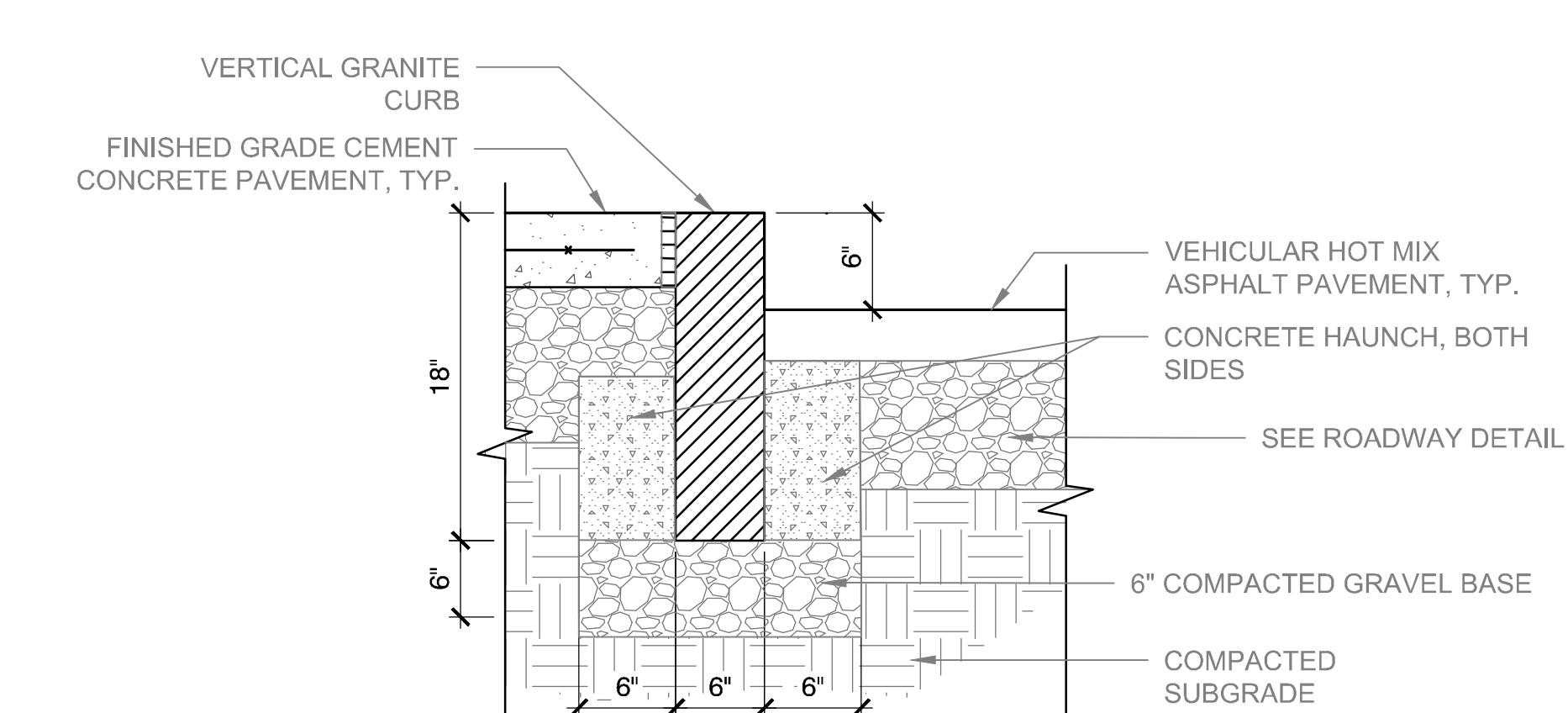
4 SIGN POLE INSTALLATION

SCALE: N.T.S.



6 FLUSH GRANITE CURB

SCALE: N.T.S.



7 VERTICAL GRANITE CURB

SCALE: N.T.S.

Date: 12/19/2025  
Drawn By: JG  
Reviewed By: EBL  
Approved By: AMC  
W&S Project No.: ENG25-0131  
W&S File No.:  
Drawing Title:  
DETAILS

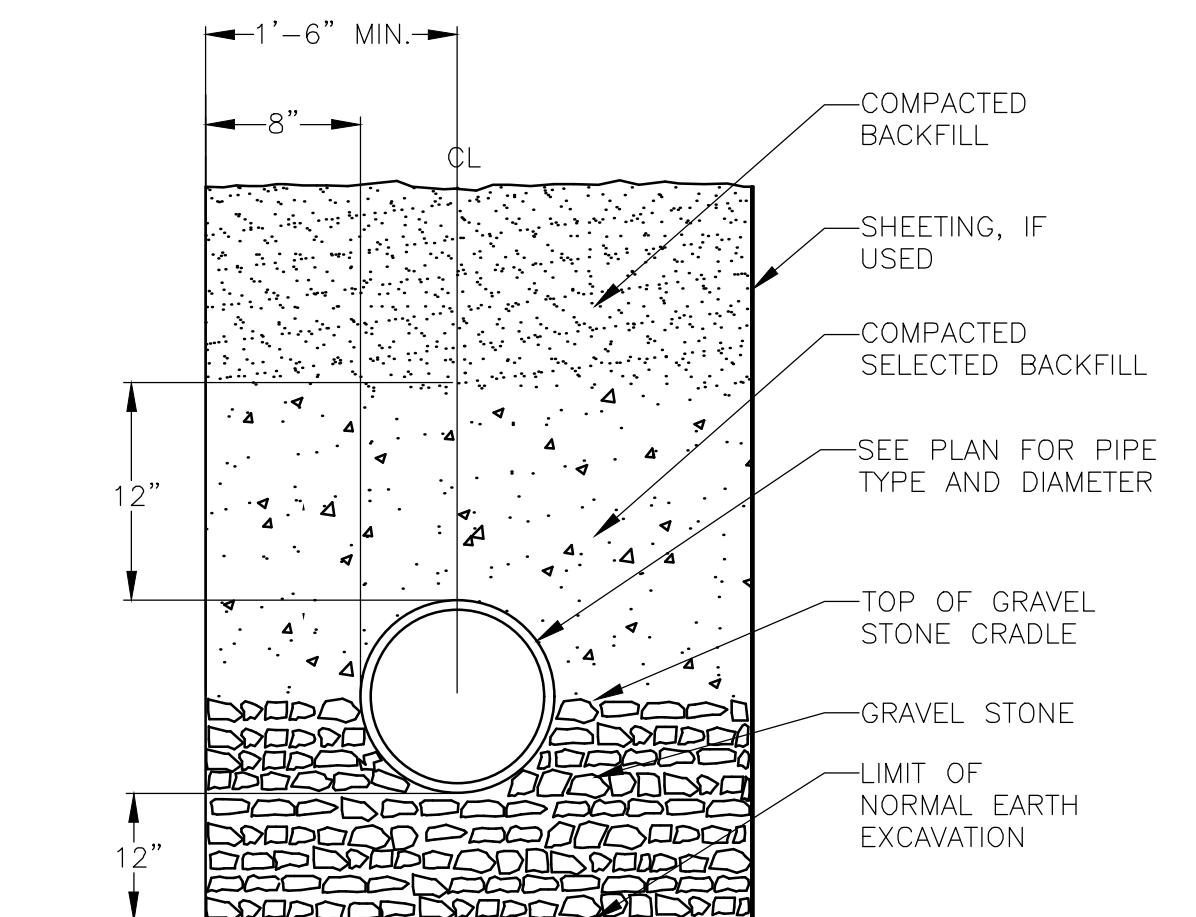
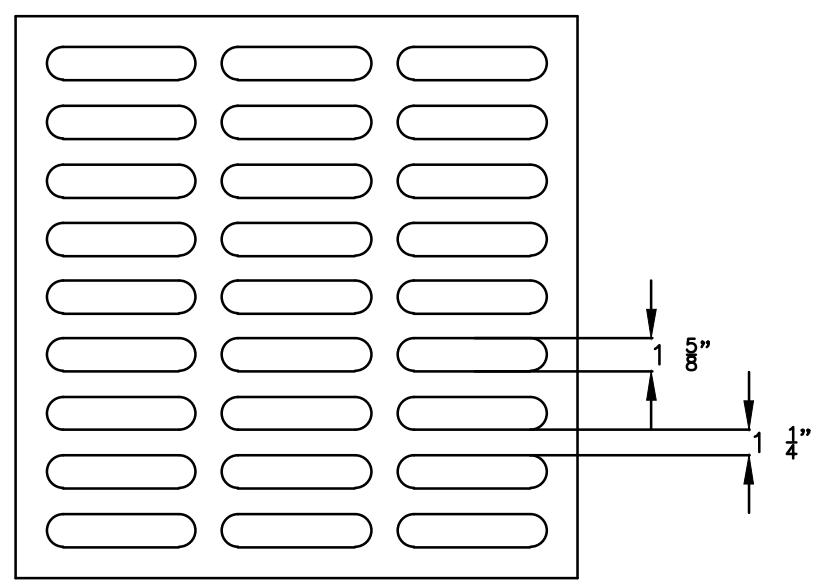
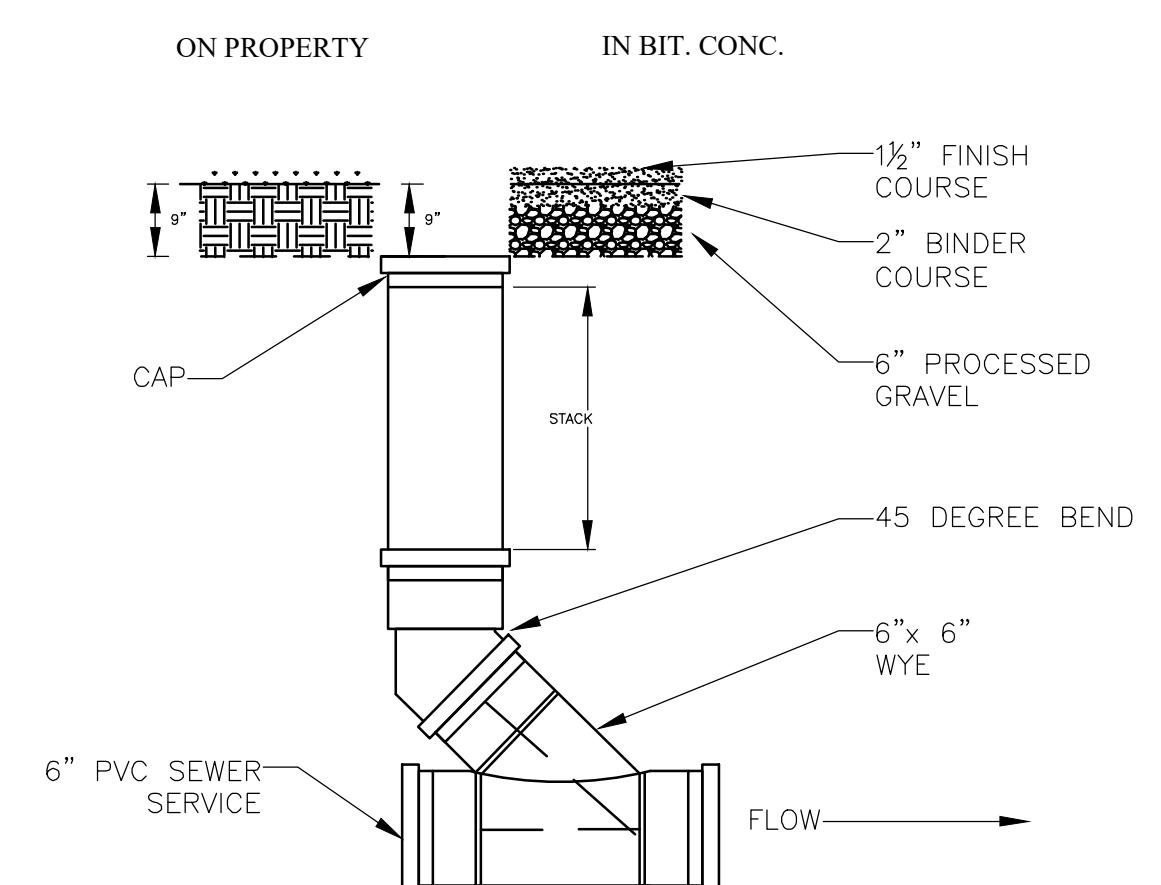
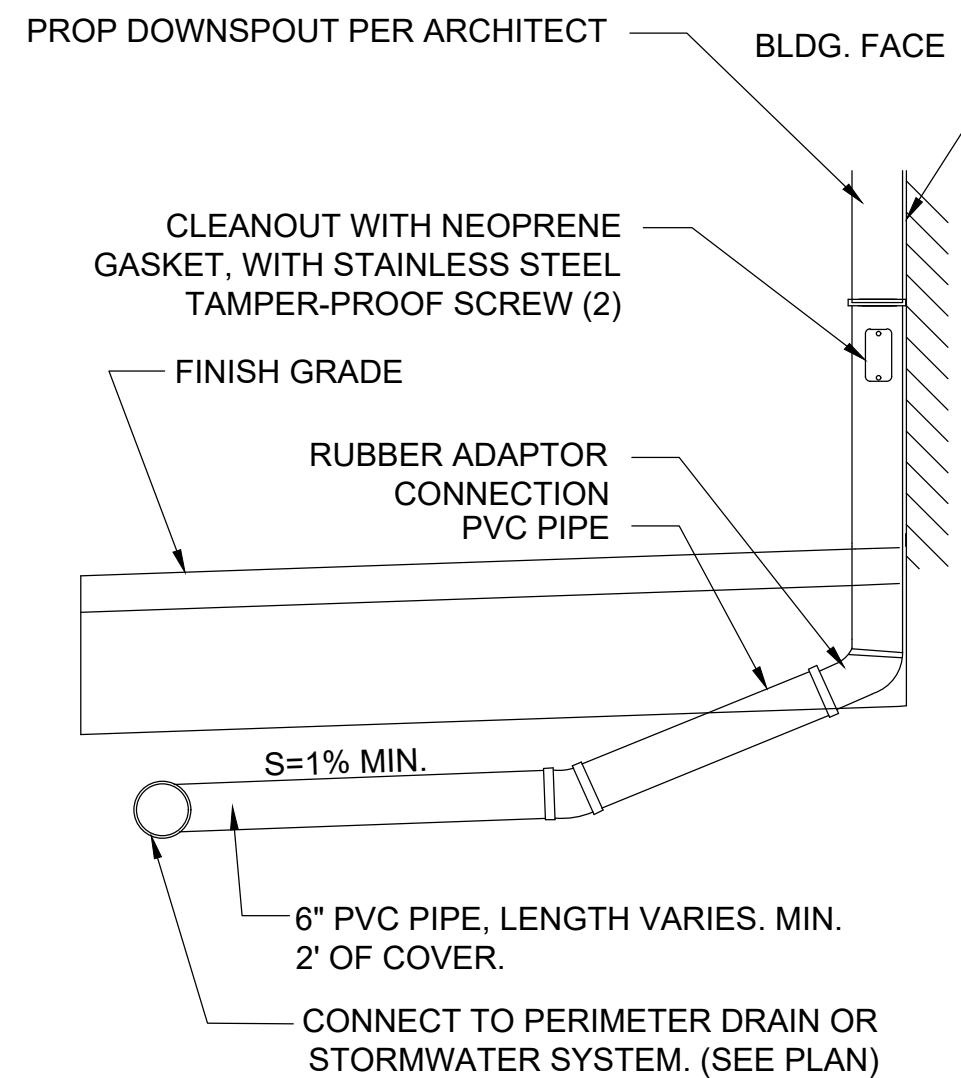
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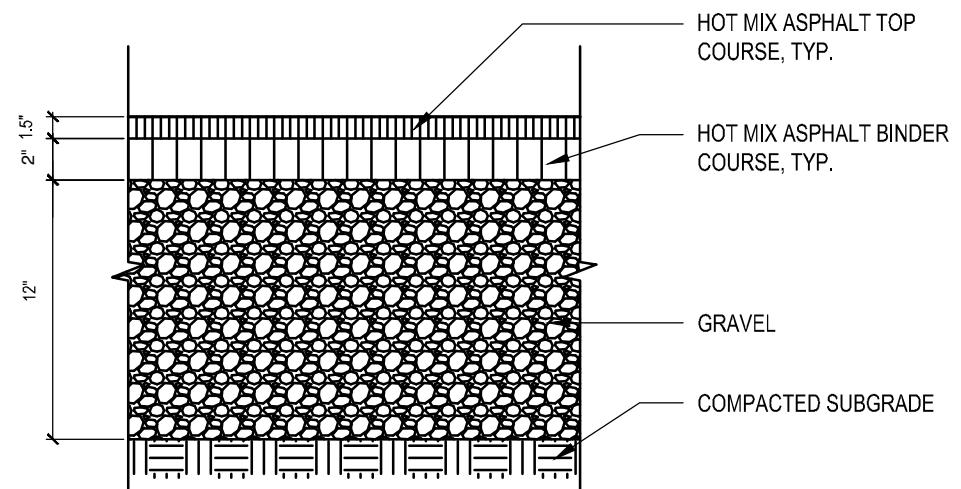
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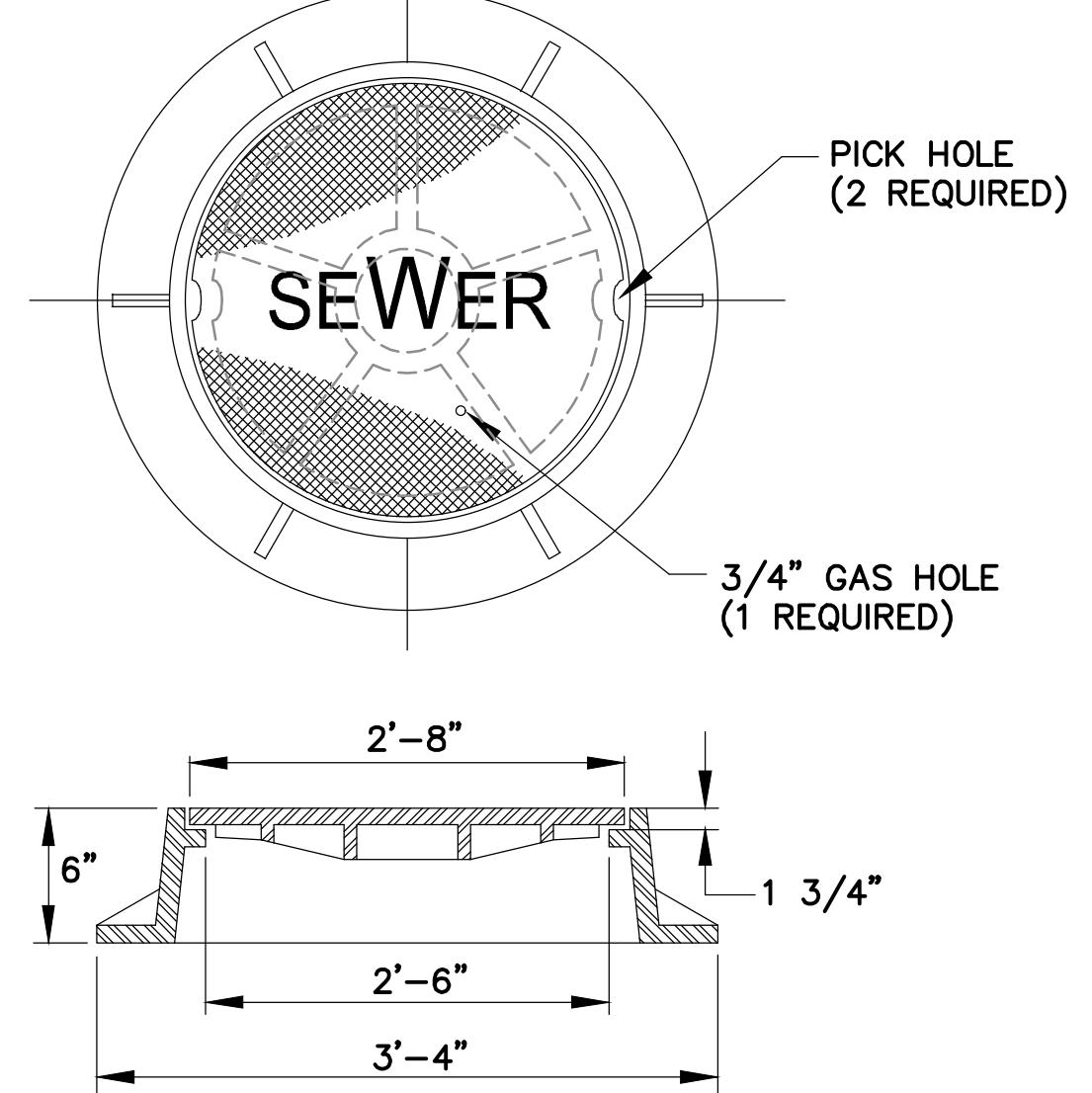
Consultants:



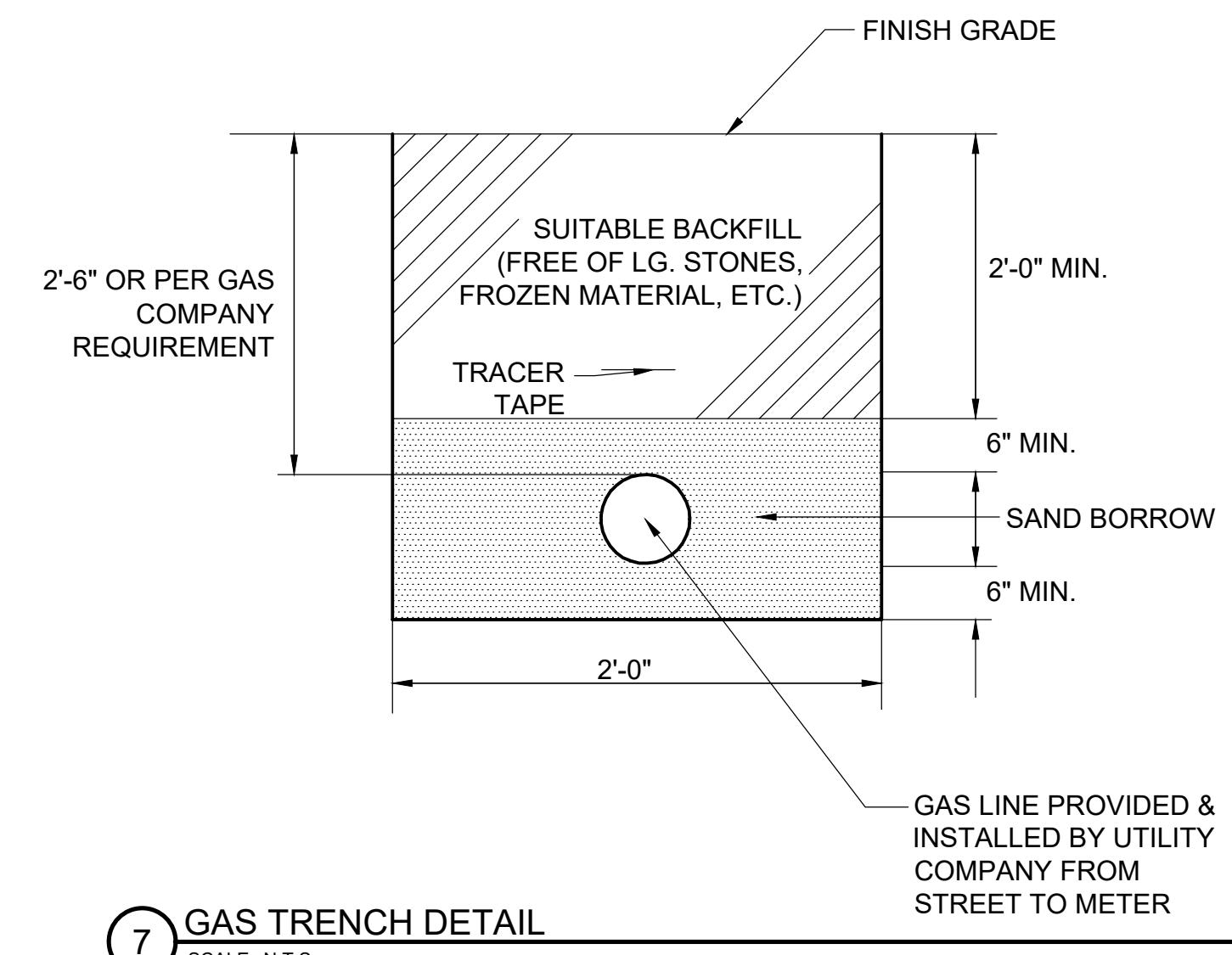
1 GUTTER DOWNSPOUT CONNECTION DETAIL  
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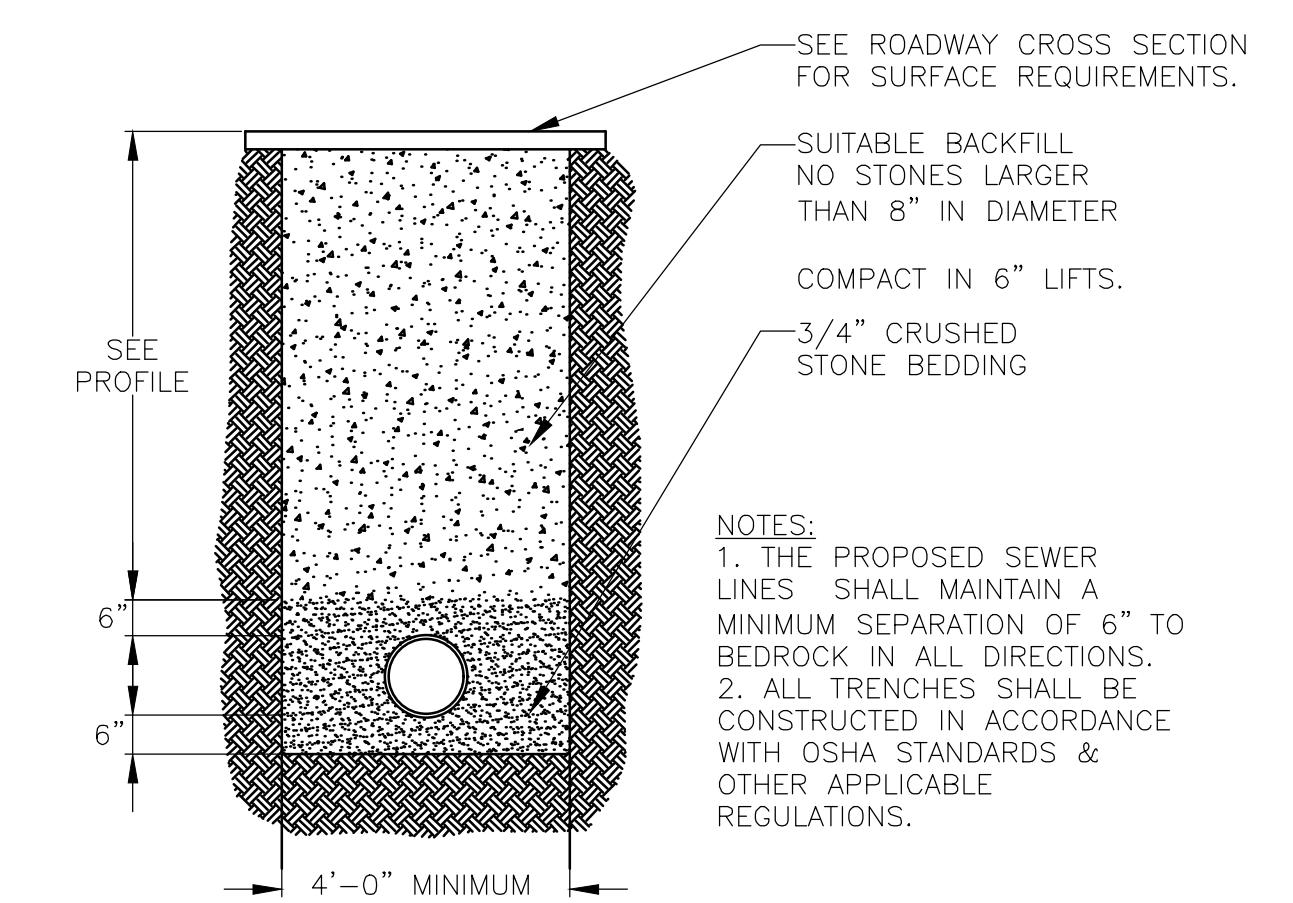
NOTE: CONTRACTOR TO PROVIDE SMOOTH TRANSITION WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENT, TYP.



2 TYPICAL CLEANOUT DETAIL  
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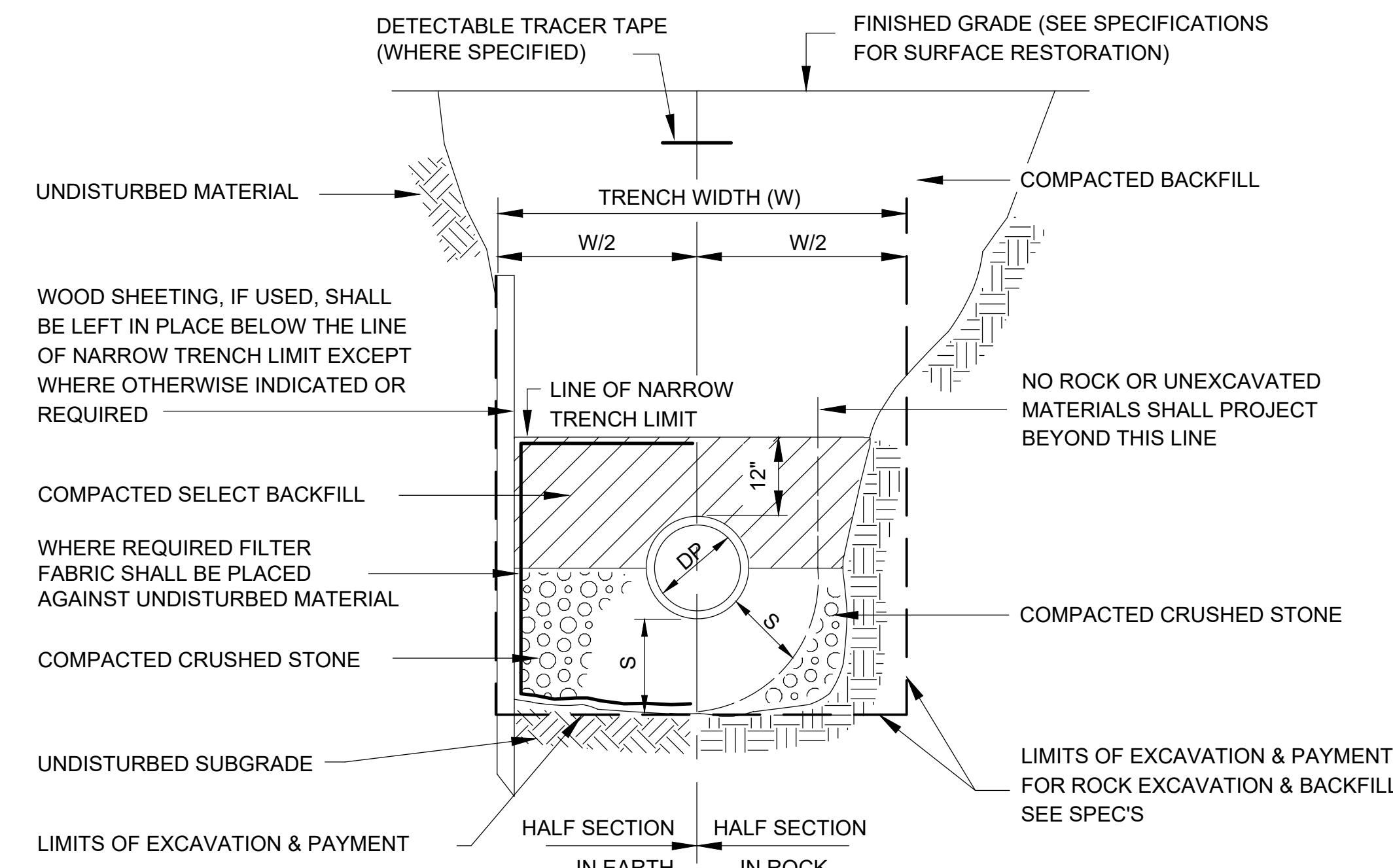


3 CATCH BASIN GRATE DETAIL  
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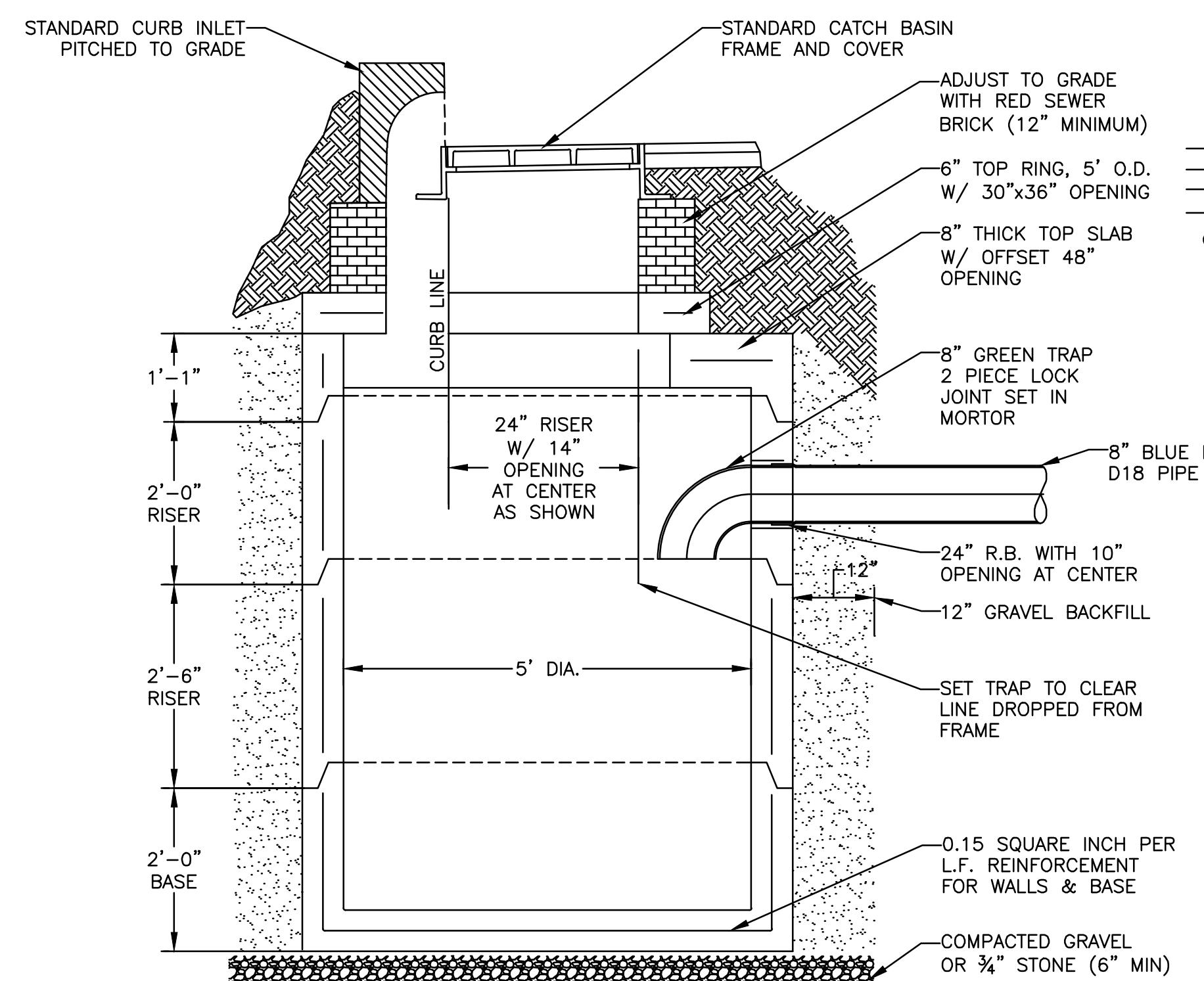


4 DRAIN TRENCH DETAIL  
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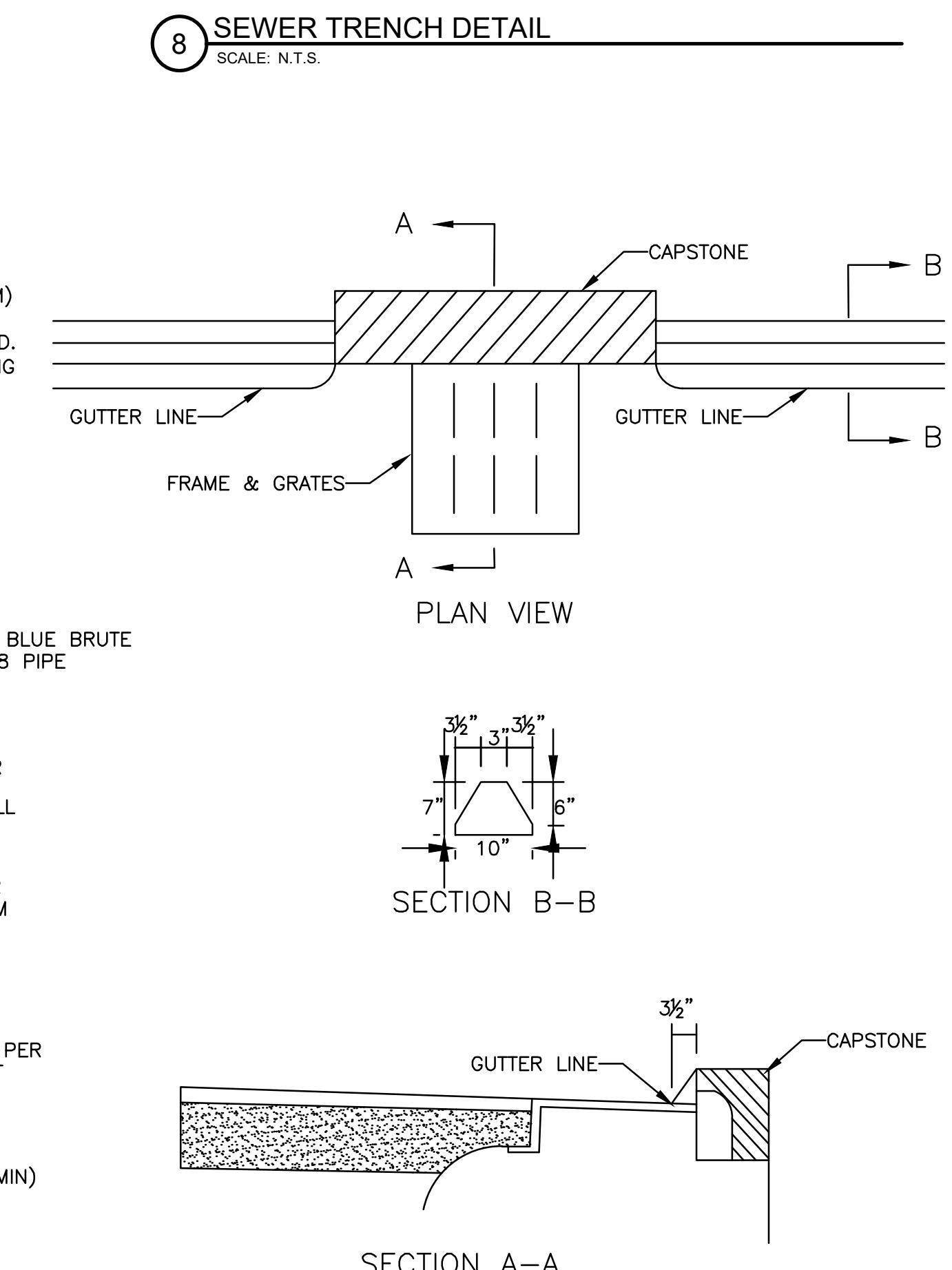
5 VEHICULAR HOT MIX ASPHALT PAVEMENT, TYP.  
SCALE: N.T.S.



6 SEWER MANHOLE FRAME AND COVER DETAIL  
SCALE: N.T.S.



7 TYPICAL PRECAST CATCH BASIN  
SCALE: N.T.S.



ANTHONY M.  
COTAMMEL  
SCEP  
PROFESSIONAL ENGINEER  
57008

Issued For:  
COMPREHENSIVE PERMIT PLAN  
(NOT FOR CONSTRUCTION)

Scale: AS SHOWN

Date: 12/19/2025  
Drawn By: JG  
Reviewed By: EBL  
Approved By: AMC  
W&S Project No.: ENG25-0131  
W&S File No.:  
Drawing Title:

DETAILS

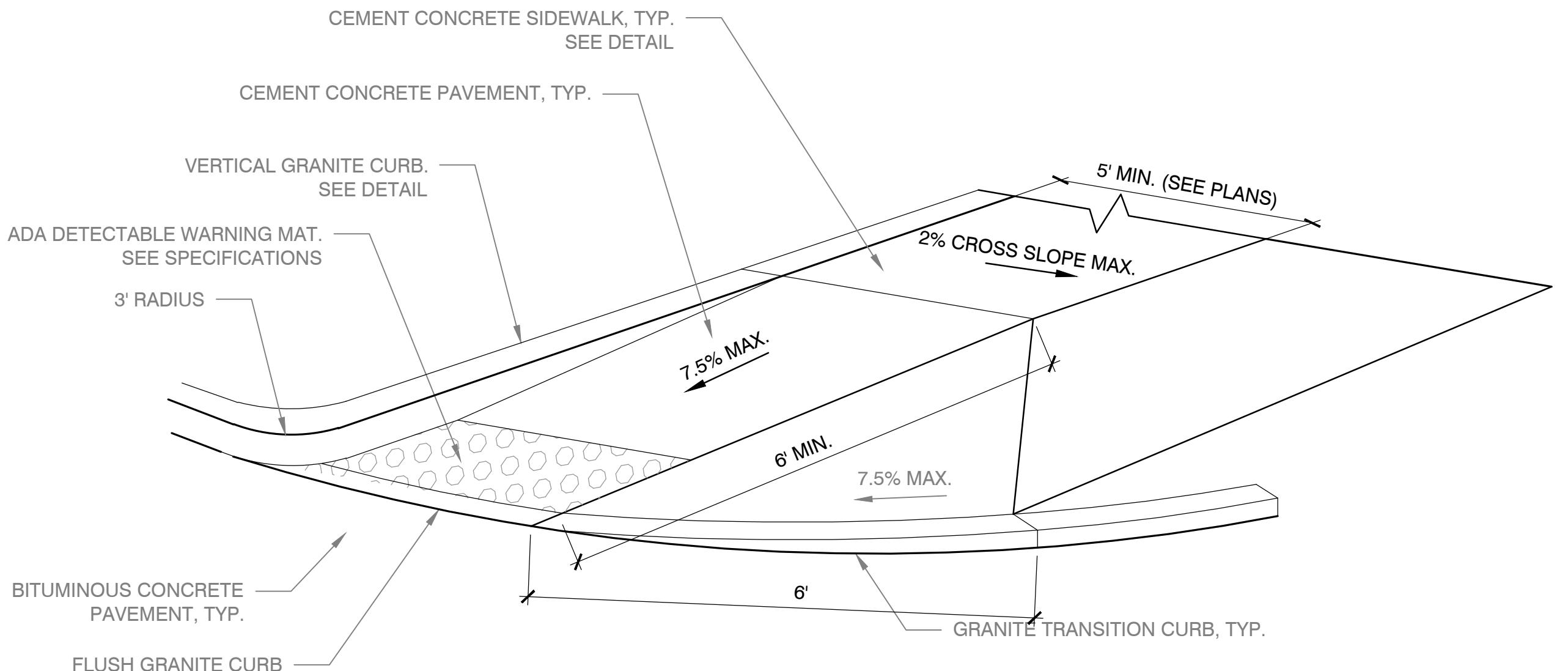
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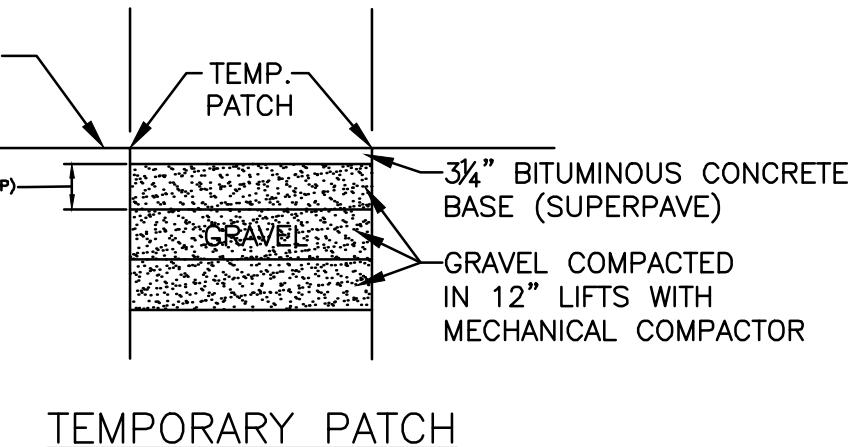
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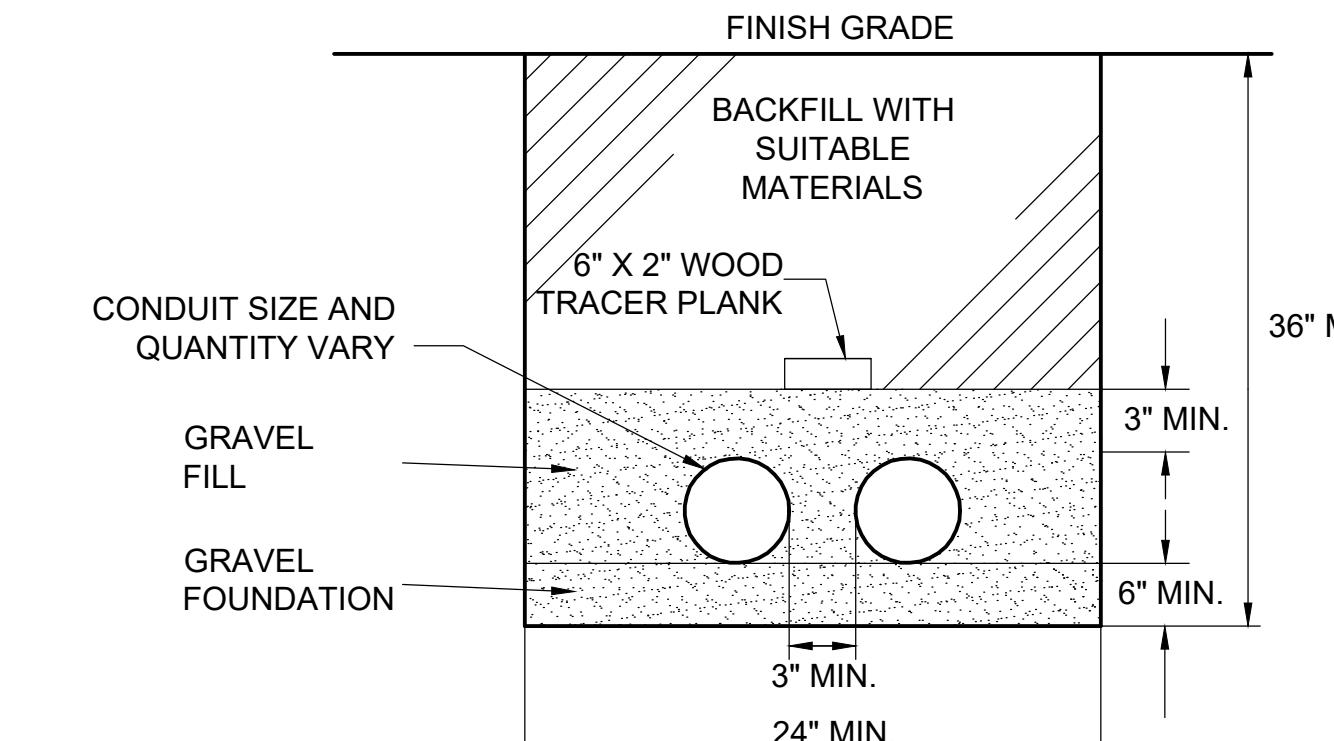


1 ADA RAMP - TYPE C

SCALE: N.T.S.

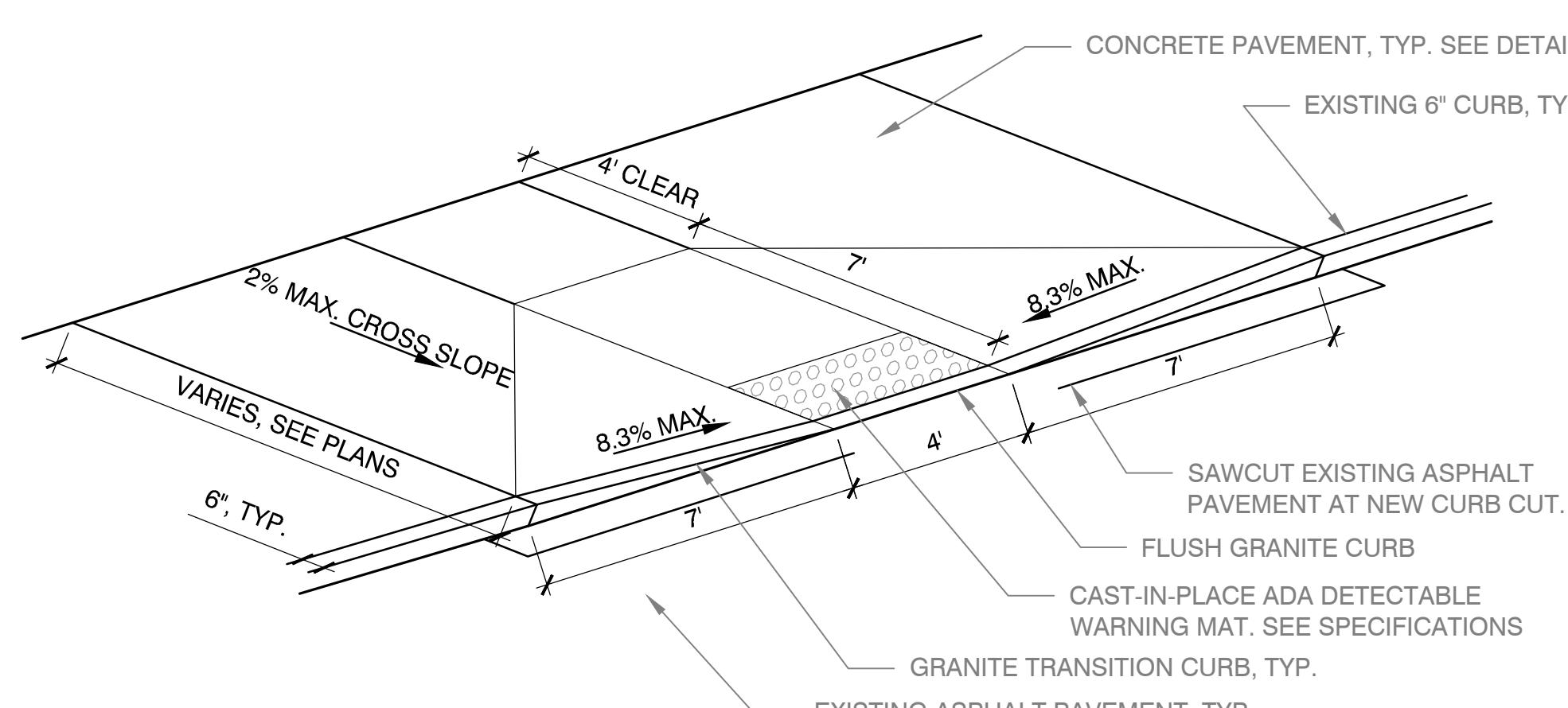


TEMPORARY PATCH



NOTE:

1. BACKFILLING OF TRENCH ABOVE WOOD TRACER PLANK SHALL BE IN LAYERS OF NOT OVER 6" COMPACTED THOROUGHLY.  
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR EXCAVATION & BACKFILL FOR ELECTRIC/COMMUNICATION CONDUIT. ELECTRICAL CONTRACTOR SHALL PROVIDE & INSTALL CONDUITS & SPACERS.  
3. REFER TO ELECTRICAL PLANS FOR CONDUIT QUANTITIES & LOCATIONS.



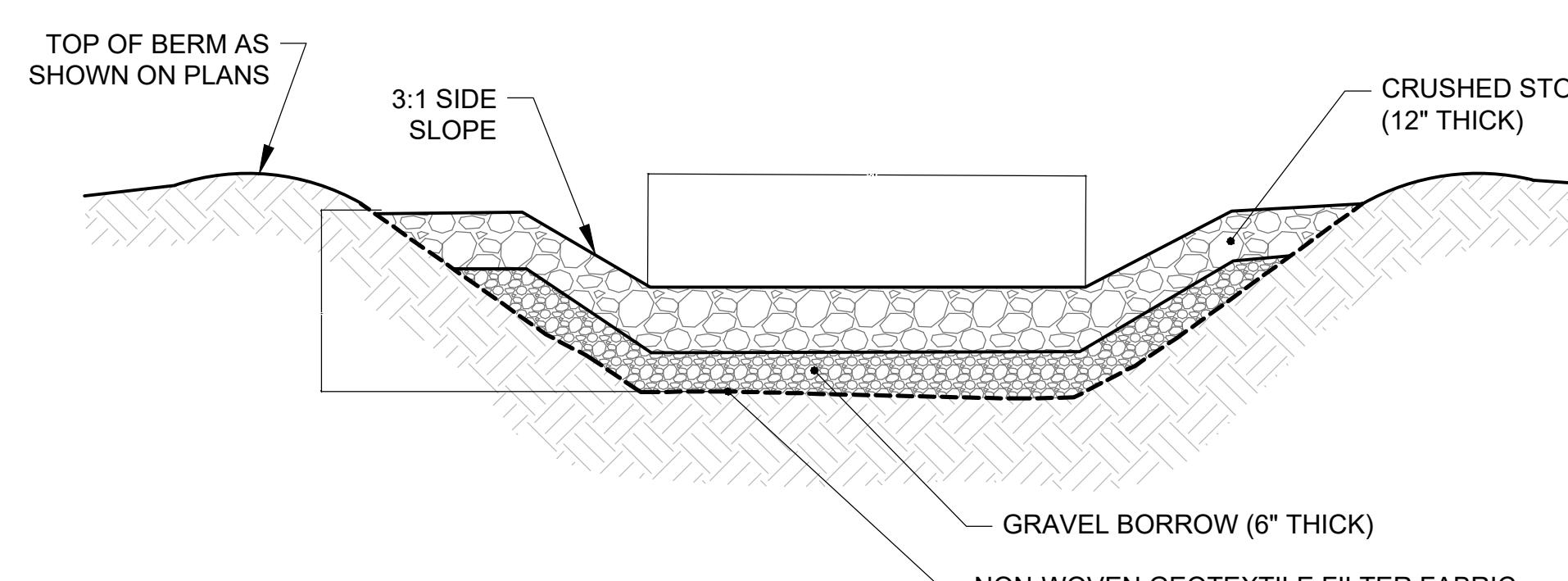
4 ADA RAMP - TYPE A

SCALE: N.T.S.

2 TEMPORARY/PERMANENT PAVEMENT PATCH

SCALE: N.T.S.

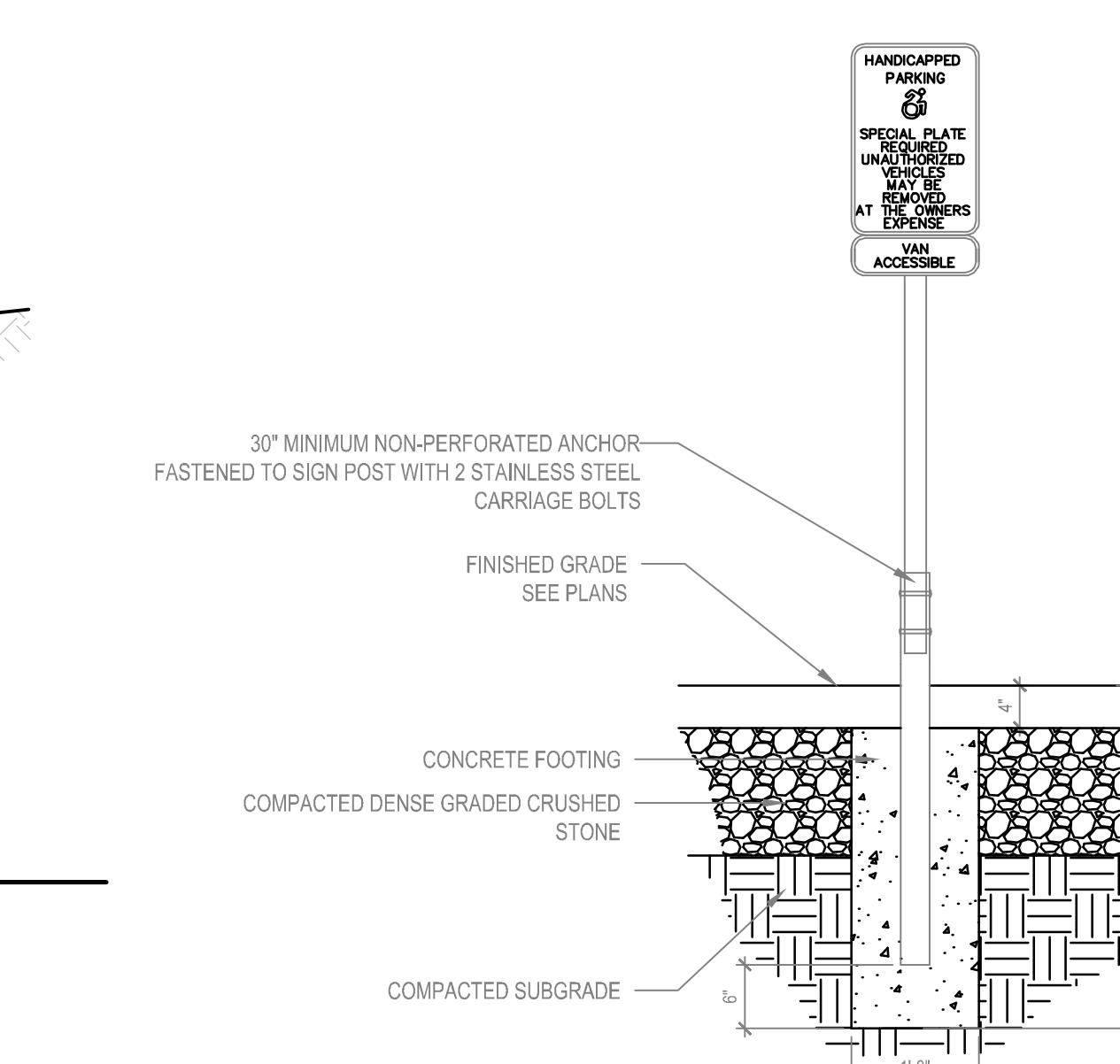
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PERMANENT PATCH

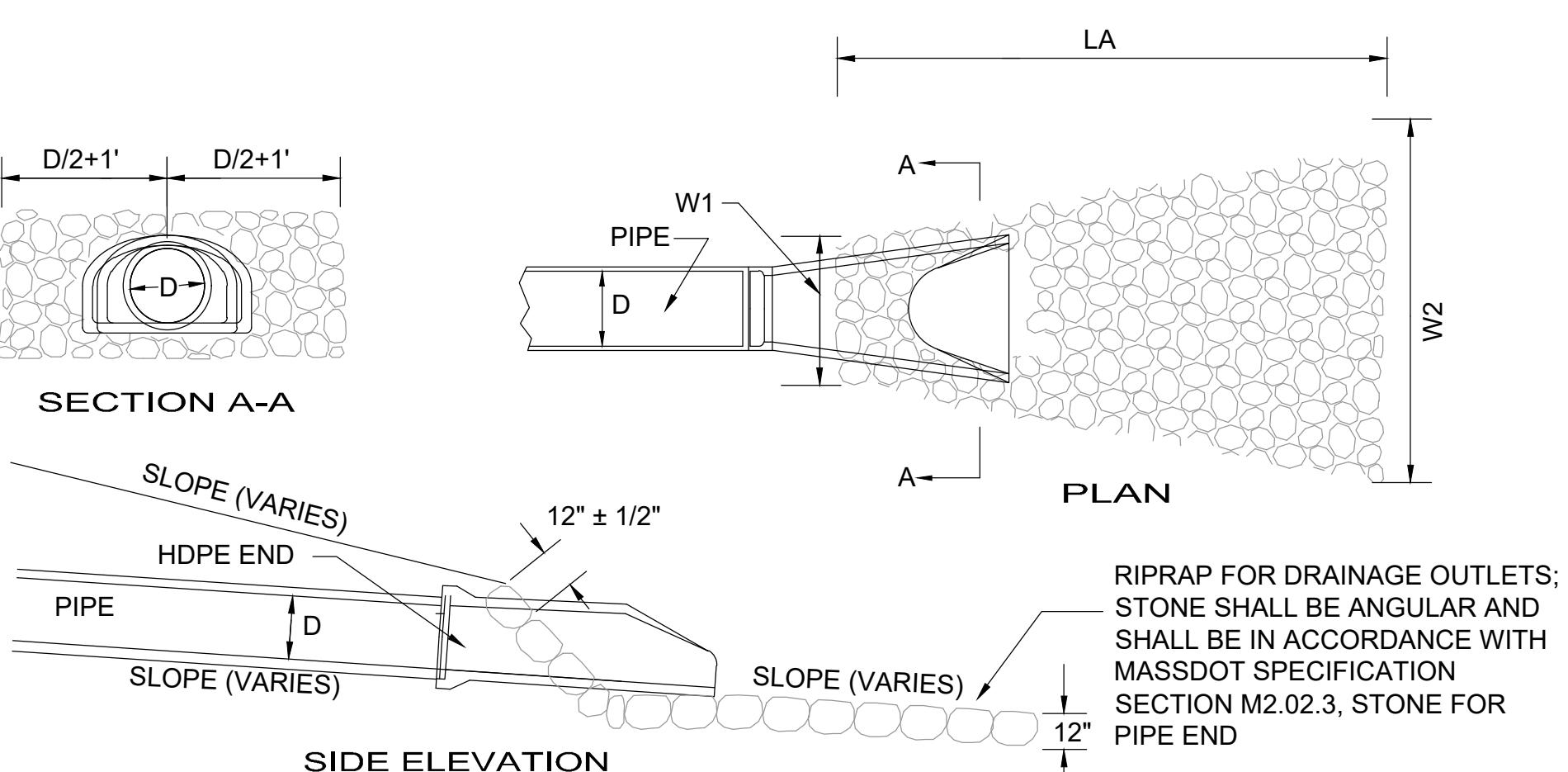
3 ELECTRIC/COMMUNICATION CONDUIT TRENCH DETAIL

SCALE: N.T.S.



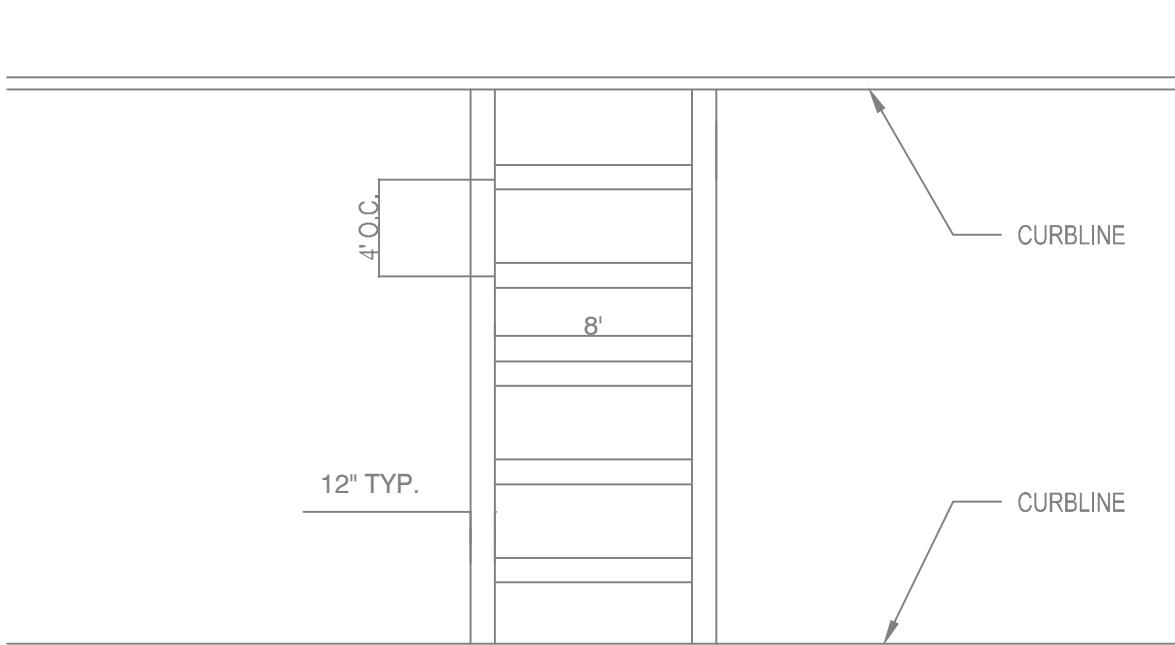
6 ACCESSIBLE PARKING SPACE SIGN

SCALE: N.T.S.



7 FLARED END PIPE DETAIL

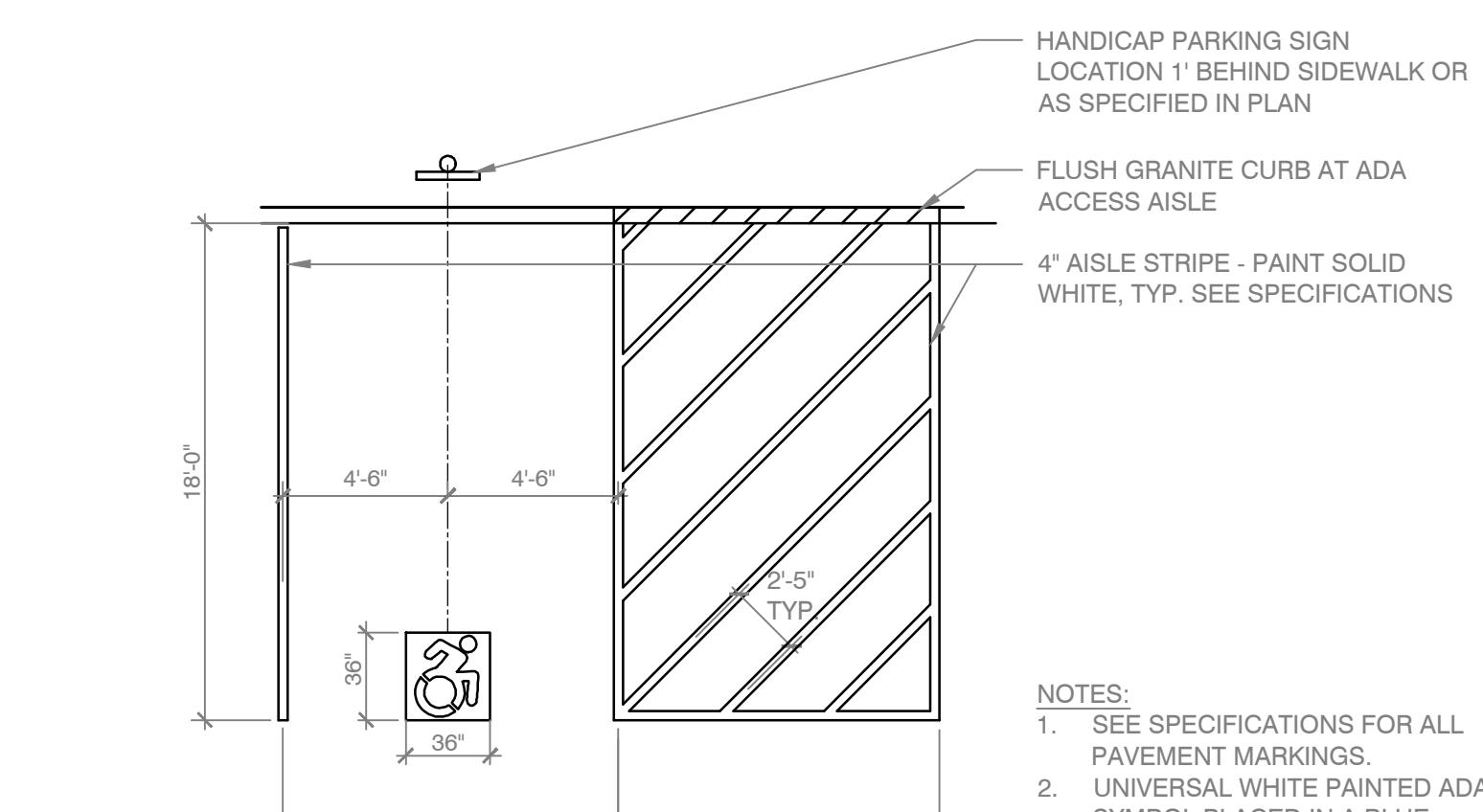
SCALE: N.T.S.



NOTES:  
1. ALL 12" THERMOPLASTIC LINES SHALL BE APPLIED IN ONE (1) APPLICATION, NO COMBINATION OF LINES (I.E. TWO 6" LINES WILL BE ACCEPTED.)  
2. LAYOUT OF CROSSWALKS SHALL BE APPROVED BY A BTD ENGINEER PRIOR TO THERMOPLASTIC BEING APPLIED.  
3. ALL CROSSWALK INSTALLED SHALL CONFORM TO ALL REFLECTIVE PROVISIONS OF THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES' DATED 1988, SECTION 860 REGARDING REFLECTORIZED PAVEMENT MARKINGS AND MATERIALS M7.01.20, LATEST REVISIONS.  
4. SPECIAL EMPHASIS CROSSWALKS SHALL BE INSTALLED AT THE DIRECTION OF A BTD ENGINEER ONLY.

8 CROSSWALK PAVEMENT MARKINGS

SCALE: N.T.S.



9 ACCESSIBLE PARKING SPACE MARKINGS

SCALE: N.T.S.

Date: 12/19/2025  
Drawn By: JG  
Reviewed By: EBL  
Approved By: AMC  
W&S Project No.: ENG25-0131  
W&S File No.:  
Drawing Title:

DETAILS

Sheet Number:  
C503

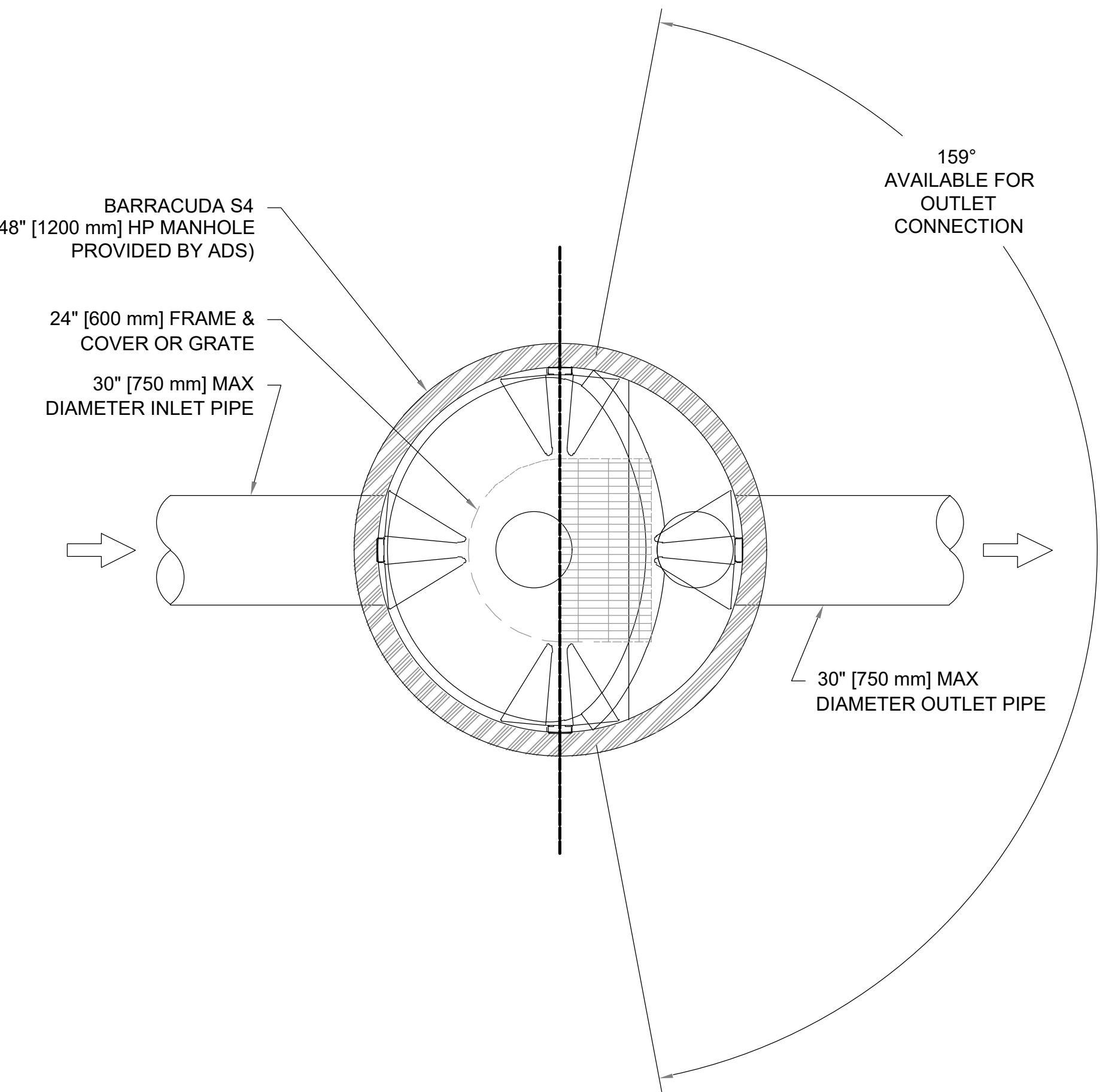
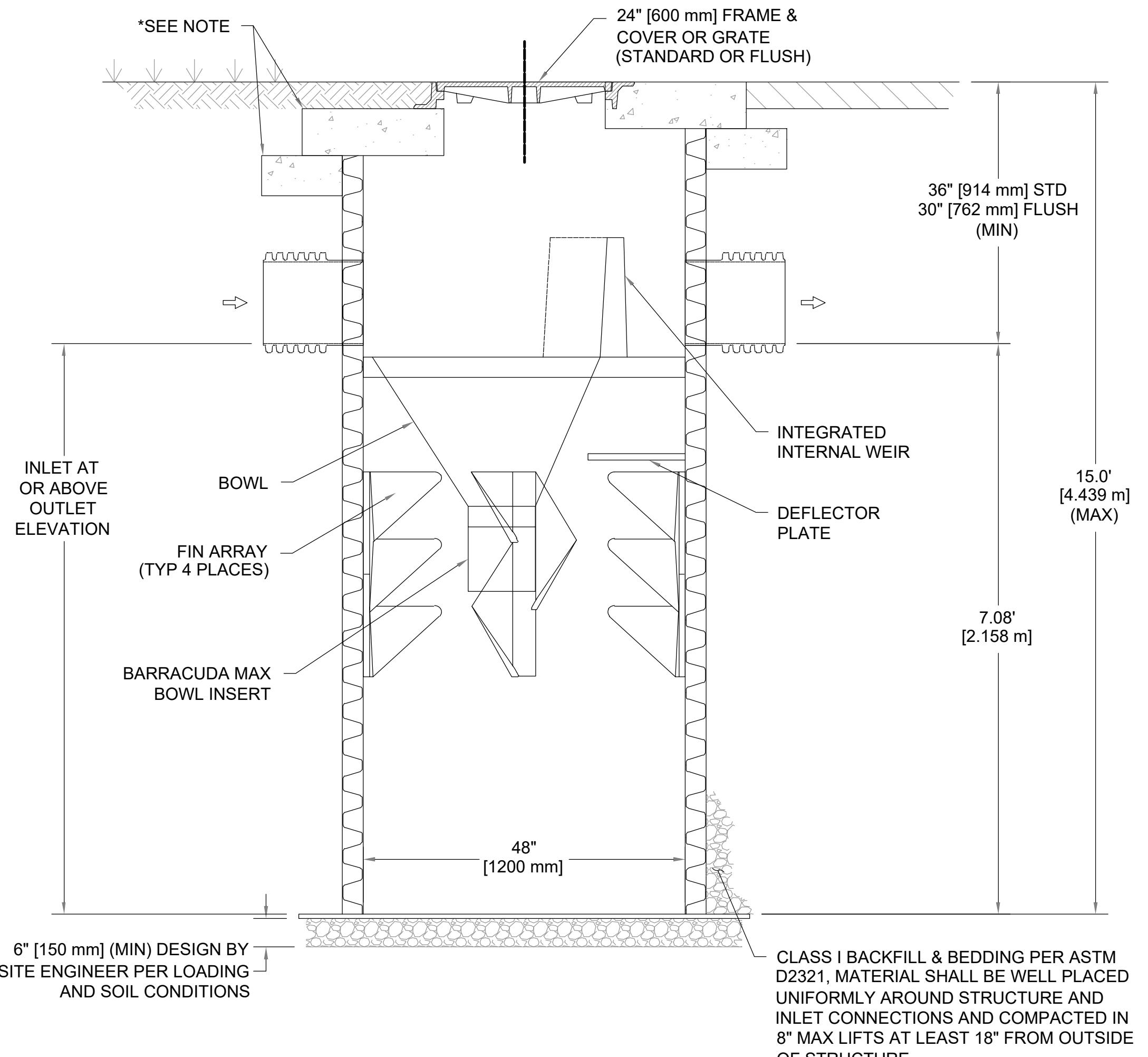
## PRODUCT SPECIFICATIONS

- THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL-SCALE THIRD PARTY TESTING USING OK-110 MEDIA GRADATION OR EQUIVALENT AND 300 mg/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.
- OR-
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH  $d_{50}=75$  MICRON AND 200 mg/L INFLUENT CONCENTRATION.
- OR-
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER PREVIOUS 2013 NJDEP/NJCAT HDS PROTOCOL.

## ATTENTION

THIS TREATMENT UNIT WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON GROUNDWATER LEVELS. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE GROUNDWATER LEVEL RELATIVE TO THE BURIED DEPTH OF THE UNIT. IF THE GROUNDWATER DEPTH ABOVE THE BOTTOM OF THE SUMP EXCEEDS ONE-THIRD THE DEPTH OF THE UNIT, CONTACT ADS FOR SOLUTIONS. SEE TECHNICAL NOTE 5.22 FOR GUIDANCE.

BARRACUDA MAX S4		
	CFS	L/s
NJDEP (50% Removal)	1.52	43.0
OK-110 (80% Removal)	1.52	43.0



PLAN VIEW  
NOT TO SCALE

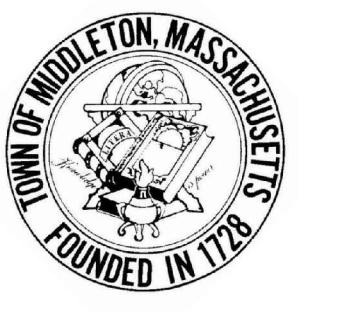
## NOTES:

- ENGINEER / CONTRACTOR TO CONFIRM PIPE MATERIALS AND APPLICABLE ADAPTERS
- CONTRACTOR IS RESPONSIBLE FOR MATERIAL AND LABOR TO BRING CASTINGS TO FINISHED GRADE
- CONTRACTOR TO MEASURE HEIGHT OF STRUCTURE TO ENSURE THAT DEPTH OF EXCAVATION IS CORRECT.
- UNIT SHALL CONFORM TO HS20-44 LOAD RATINGS.
- STUB SIZES SMALLER THAN 12" (300 mm) REQUIRE THE USE OF AN INSERTA TEE
- \* CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

9 BARRACUDA MAX S4 MANHOLE CONCRETE TOP SLAB  
SCALE: N.T.S.

Project:  
FERNCROFT APARTMENTS  
RESIDENTIAL COMMUNITY

35 VILLAGE ROAD  
MIDDLETON, MA 01949



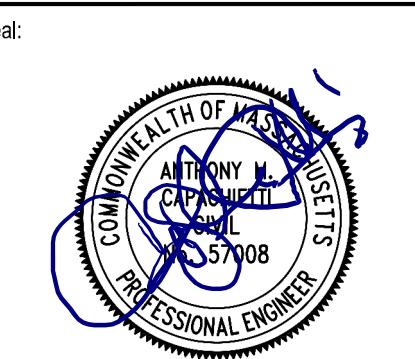
Weston & Sampson

Weston & Sampson Engineers, Inc.  
55 Walkers Brook Drive, Suite 100  
Reading, MA 01867  
978.532.1900 800.SAMPSON  
www.westonandsampson.com

Consultants:

Revisions:  
No. Date Description

COA:



Issued For:  
COMPREHENSIVE PERMIT PLAN  
(NOT FOR CONSTRUCTION)

Scale: AS SHOWN

Date: 12/19/2025  
Drawn By: JG  
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C504