

MIDDLETON CORNER

49 SOUTH MAIN STREET
MIDDLETON, MA

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TOWN CLERK'S OFFICE
MIDDLETON, MA
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25 - 1204



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50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
O 617.889.4402
F 617.884.4329
architecturalteam.com

Revised Application for Site Plan Review and Special Permit Amendment
Phase I & II




SUBMISSIONS:	
February 27, 2024	Application for Site Plan Review & Special Permits
July 16, 2024	Revised Application for Site Plan Review & Special Permits
January 28, 2025	Site Plan Review & Special Permit Amendment
November 18, 2025	Revised Application for Site Plan Review & Special Permits

DEVELOPMENT TEAM:	
OWNER / APPLICANT	VILLEBRIDGE ACQUISITIONS LLC 1150 GREAT PLAIN AVENUE #920956 NEEDHAM, MA 02462 PHONE #: 617.416.3575 FAX #:
ARCHITECT	THE ARCHITECTURAL TEAM, INC. 50 COMMANDANT'S WAY AT ADMIRAL'S HILL CHELSEA, MA 02150 PHONE #: 617.889.4402 FAX #: 617.884.4329
SURVEYOR	HANCOCK ASSOCIATES 185 CENTRE ST. DANVERS, MA 01923 PHONE #: 978.357.8145 FAX #:
CIVIL ENGINEER	H.W. MOORE ASSOCIATES 121 EAST BERKLEY STREET, 4TH FLOOR BOSTON, MA 02118 PHONE #: 617.357.8145 FAX #:
LANDSCAPE ARCHITECT	HAWK DESIGN INC. P.O. BOX 1309 SANDWICH, MA 02563 PHONE #: 508.833.8800 FAX #:
TRANSPORTATION ENGINEER	VANASSE & ASSOCIATES INC. 35 NEW ENGLAND BUSINESS CENTER DRIVE - SUITE 140 ANDOVER, MA 01810 PHONE #: 978.474.8800 FAX #: 978.688.5508
PERMITTING ATTORNEY	SMOLAK & VAUGHAN LLP 21 HIGH STREET #301 NORTH ANDOVER, MA 01845 PHONE #: 978.327.5215 FAX #:

Consultant:

Revision:
1 - July 16, 2024
2 - January 28, 2025
3 - November 18, 2025

Architect of Record:


Drawn: J.Z.
Checked: E.B.
Scale: NOT TO SCALE
Key Plan:

Project Name:
Middleton Corner

Middleton, MA

Sheet Name:
PROJECT COVER

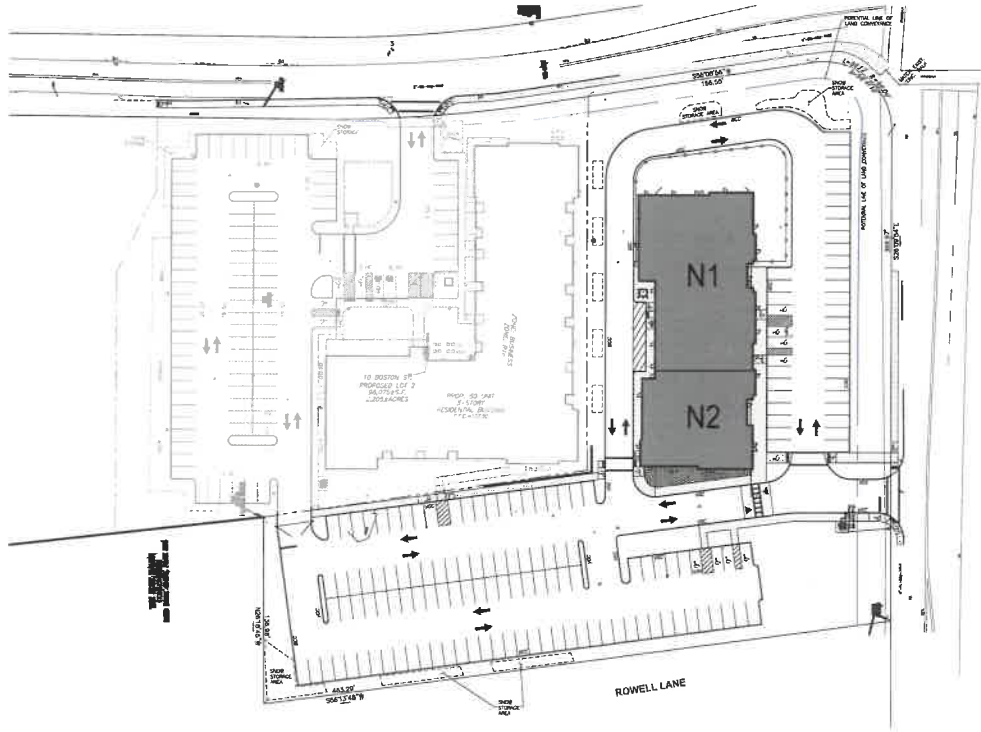
Project Number:
24018

Issue Date:
February 27, 2024

Sheet Number:
T0.01

COPY

KEY PLAN:



BUILDING FLOOR AREA AND HEIGHT SUMMARY - PHASE I:

Commercial Gross Leasable Area			
Building	N1	N2	Total GSF
North Retail	10,130	5,370	15,500
TOTAL	10,130	5,370	15,500

NORTH BUILDING
HEIGHT (Feet)¹ 28
HEIGHT (Stories)² 1
BUILDING FOOTPRINT (SF) 15,500

Notes

1. **Building Height:** pursuant to the Zoning Bylaws of the Town of Middleton, Massachusetts, Building Height shall be measured as the vertical distance from the average elevation of the finished lot grade adjoining such building to the highest point of the roof in the case of a flat roof, and to the mean height between the plate and the ridge in the case of a pitched roof.

2. **Story:** pursuant to the Zoning Bylaws of the Town of Middleton, Massachusetts, each story of a building shall be deemed to be the portion of a building between the upper surface of any floor and the upper surface of the floor next above. A basement having more than 1/2 of its height above the average elevation of the finished grade adjoining the building shall be considered to be a story for the purposes of this definition. Any part of a building between the top floor and the roof shall be deemed a half story.

3. **Commercial Gross Leasable Area** is measured from the centerline of partitions that separate adjacent occupants, from the exterior surface of exterior walls, exterior surface of the glass at exterior storefronts, from the lease line at common areas, and includes the full thickness of all other enclosing walls. No deduction is made for columns, any structural elements or occupant voids within the gross leasable area.

DRAWING INDEX:

DWG #	DRAWING TITLE	DRAWING DATES			
		February 27, 2024	July 16, 2024	January 28, 2025	November 18, 2025
TITLE SHEETS					
T0.01	PROJECT COVER				
T0.02	DRAWING INDEX, PROJECT INFORMATION & ARCHITECTURAL SITE PLAN				
SURVEY					
SHEET 1 OF 3	EXISTING CONDITIONS PLAN OF LAND				
SHEET 2 OF 3	EXISTING CONDITIONS PLAN OF LAND				
SHEET 3 OF 3	EXISTING CONDITIONS PLAN OF LAND				
CIVIL DRAWINGS					
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C-2	LOGO PLAN				
C-3	LAYOUT & MATERIALS PLAN				
C-3.1	LAYOUT & MATERIALS PLAN - PHASE I				
C-3.2	LAYOUT & MATERIALS PLAN - PHASE II				
C-4	GRADING & DRAINAGE PLAN				
C-5	UTILITY PLAN				
C-6	PAVEMENT MARKING & SIGNAGE PLAN				
C-7	SITE PREP & DEMOLITION PLAN				
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L-01	PLANTING SPECIFICATIONS				
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ARCHITECTURAL DRAWINGS					
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A1.01	EXTERIOR ELEVATIONS - PHASE I & II				
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Drawn: J.Z.

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Project Name:

Middleton Corner

Middleton, MA

Sheet Name:

PHASE I & II
DRAWINGS INDEX,
PROJECT INFORMATION

Project Number:

24018

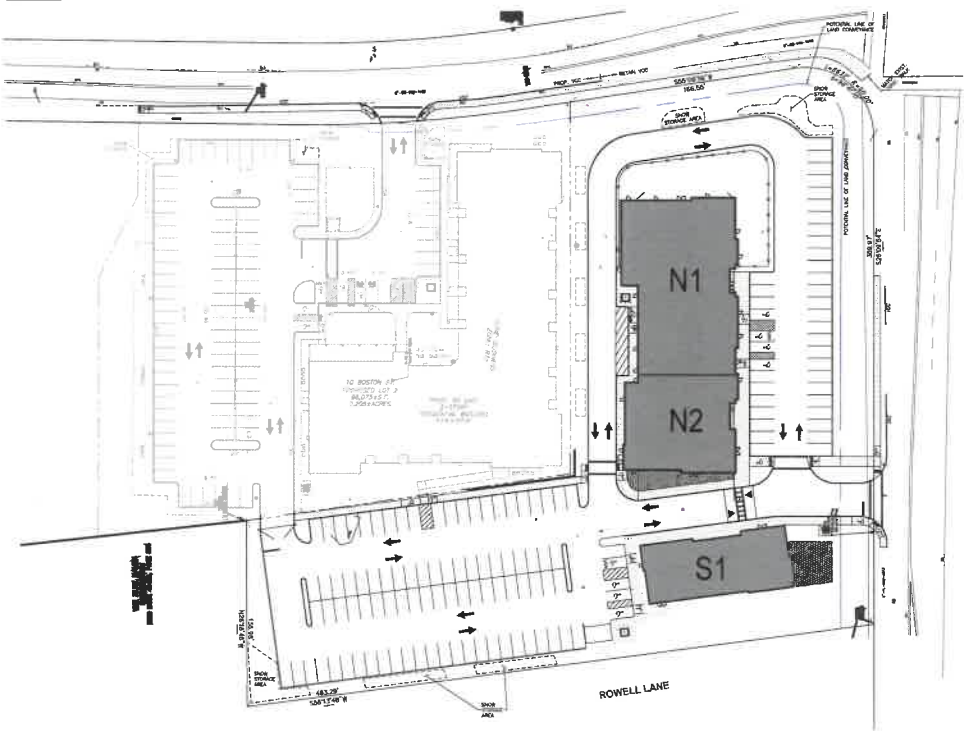
Issue Date:

February 27, 2024

Sheet Number:

T0.02

KEY PLAN:



BUILDING FLOOR AREA AND HEIGHT SUMMARY - PHASE II:

Commercial Gross Leasable Area				
Building	N1	N2	S1	Total GSF
North Retail	10,130	5,370	0	15,500
South Retail	0	0	4,500	4,500
TOTAL	10,130	5,370	4,500	20,000

NORTH BUILDING
HEIGHT (Feet)¹ 28
HEIGHT (Stories)² 1
BUILDING FOOTPRINT (SF) 15,500

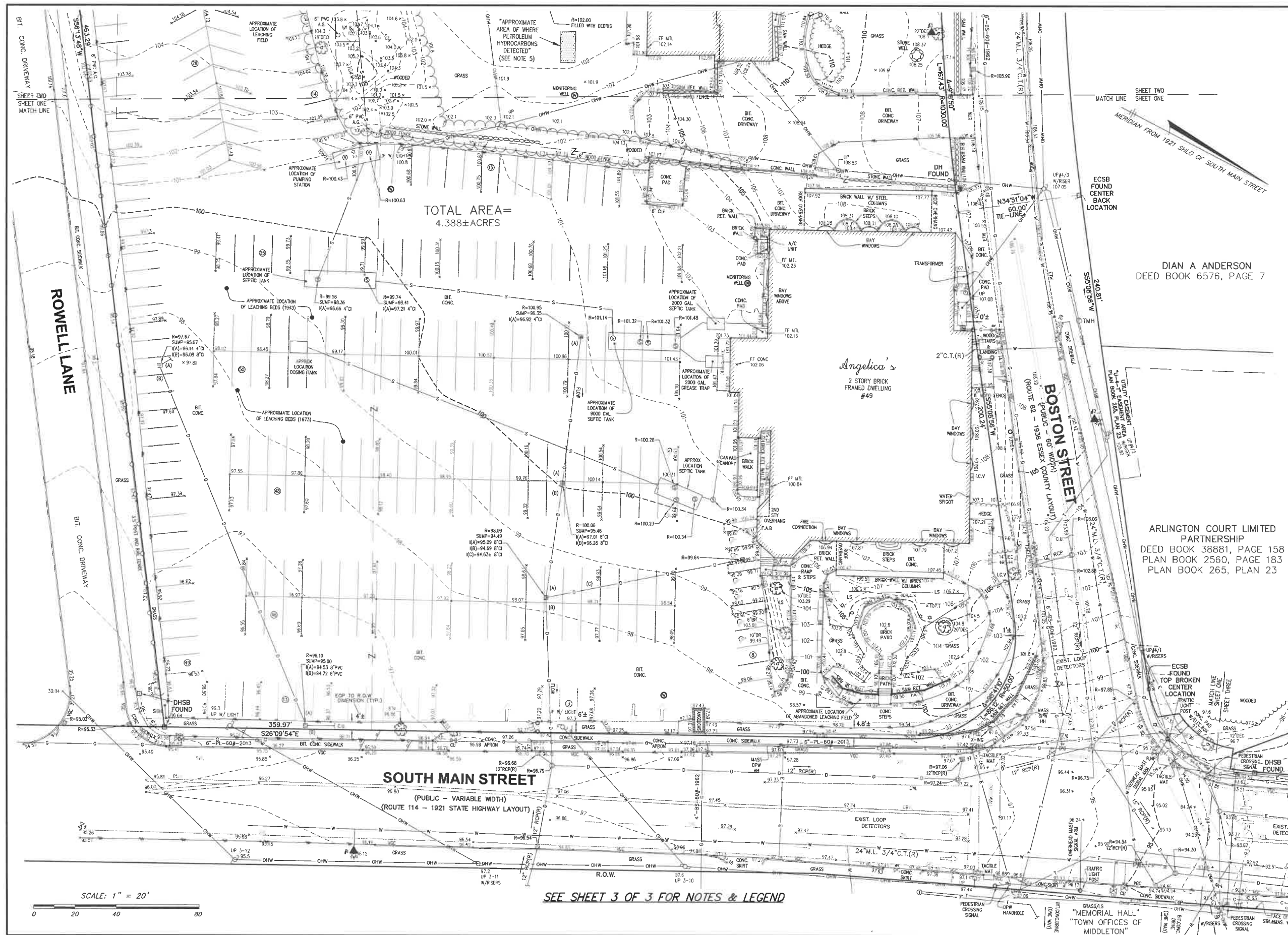
SOUTH BUILDING
HEIGHT (Feet)¹ 28
HEIGHT (Stories)² 1
BUILDING FOOTPRINT (SF) 4,500

Notes

1. **Building Height:** pursuant to the Zoning Bylaws of the Town of Middleton, Massachusetts, Building Height shall be measured as the vertical distance from the average elevation of the finished lot grade adjoining such building to the highest point of the roof in the case of a flat roof, and to the mean height between the plate and the ridge in the case of a pitched roof.

2. **Story:** pursuant to the Zoning Bylaws of the Town of Middleton, Massachusetts, each story of a building shall be deemed to be the portion of a building between the upper surface of any floor and the upper surface of the floor next above. A basement having more than 1/2 of its height above the average elevation of the finished grade adjoining the building shall be considered to be a story for the purposes of this definition. Any part of a building between the top floor and the roof shall be deemed a half story.

3. **Commercial Gross Leasable Area** is measured from the centerline of partitions that separate adjacent occupants, from the exterior surface of exterior walls, exterior surface of the glass at exterior storefronts, from the lease line at common areas, and includes the full thickness of all other enclosing walls. No deduction is made for columns, any structural elements or occupant voids within the gross leasable area. Common utility rooms are not included in the gross leasable area.



MIDDLETON

10 & 18 Boston Street &
49 South Main Street
Middleton, Massachusetts 01949

PREPARED FOR:

VILLEBRIDGE DEVELOPMENT LLC.

1150 Great Plain Avenue
Needham, Massachusetts 02492

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



- PLP JAE 12-22-24 ADD EOP TO ROW DIMENSIONS
- JAH PLP 10-10-23 EXPAND SURVEY, ADD SHEET 3
- PLP JAE 4-06-23 AREA OF HYDROCARBONS

DATE: 06/15/22 DRAWN BY: PLP/CLB
SCALE: 1"=20' CHECK BY: PLP

EXISTING CONDITIONS PLAN OF LAND IN MIDDLETON, MA

PLP DATE: Feb 22, 2024 2:08 pm

PATH: F:\2024 20 Projects\25912 - Villebridge - Middleton\Con\DWG\

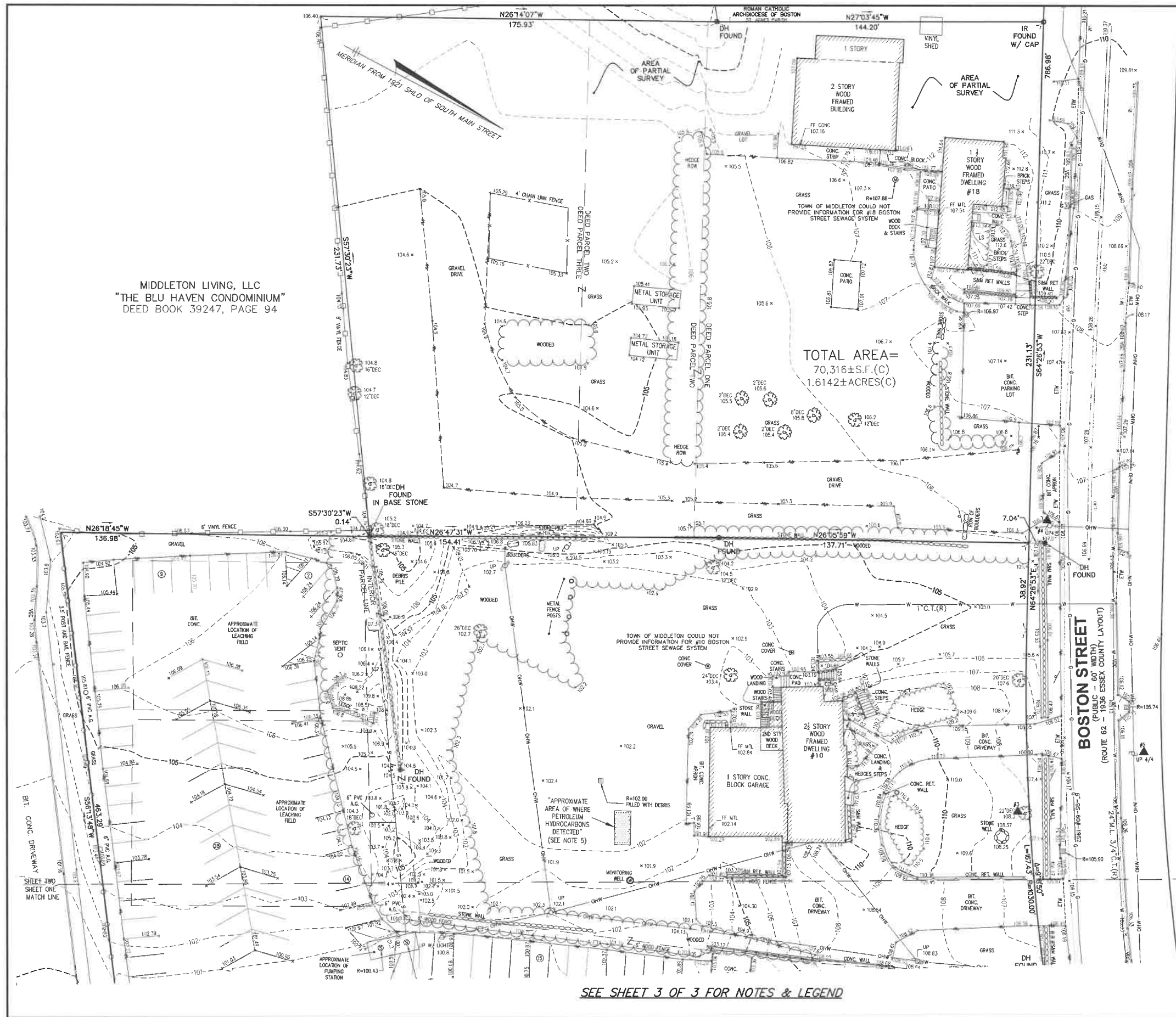
DWG: 25912ec-rev.dwg

LAYOUT: EC

SHEET: 1 OF 3

PROJECT NO.:

25912



MIDDLETON
10 & 18 Boston Street &
49 South Main Street
Middleton, Massachusetts 01949

PREPARED FOR
**VILLEBRIDGE
DEVELOPMENT
LLC.**
1150 Great Plain Avenue
Needham, Massachusetts 02492

**HANCOCK
ASSOCIATES**

Civil Engineers
Land Surveyors
Wetland Scientists

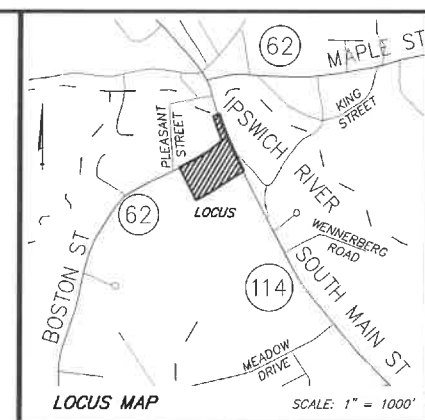
185 CENTRE STREET, DANVERS, MA 01923
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WWW.HANCOCKASSOCIATES.COM



3.	PLP	JAE	12-22-24	NO REVISIONS TO SHEET 2
2.	JAH	PLP	10-10-23	EXPAND SURVEY, ADD SHEET 3
1.	PLP	JAE	4-06-23	NOTE 5
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE:			06/15/22	DRAWN BY: PLP/CLB
SCALE:			1"=20'	CHECK BY: PLP


**EXISTING CONDITIONS
PLAN OF LAND
IN
MIDDLETON, MA**

PLT DATE: Feb 23, 2024 9:43 am
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SHEET: 2 OF 3
PROJECT NO.: 25912

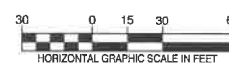


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PROJECT NO.: 25912	

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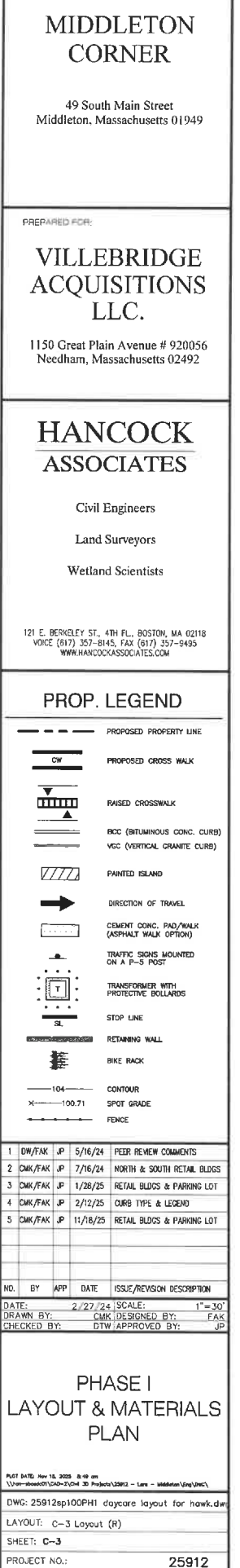


A horizontal scale bar with tick marks at 0, 20, 40, and 80 feet. The bar is divided into four equal segments, each representing 20 feet.

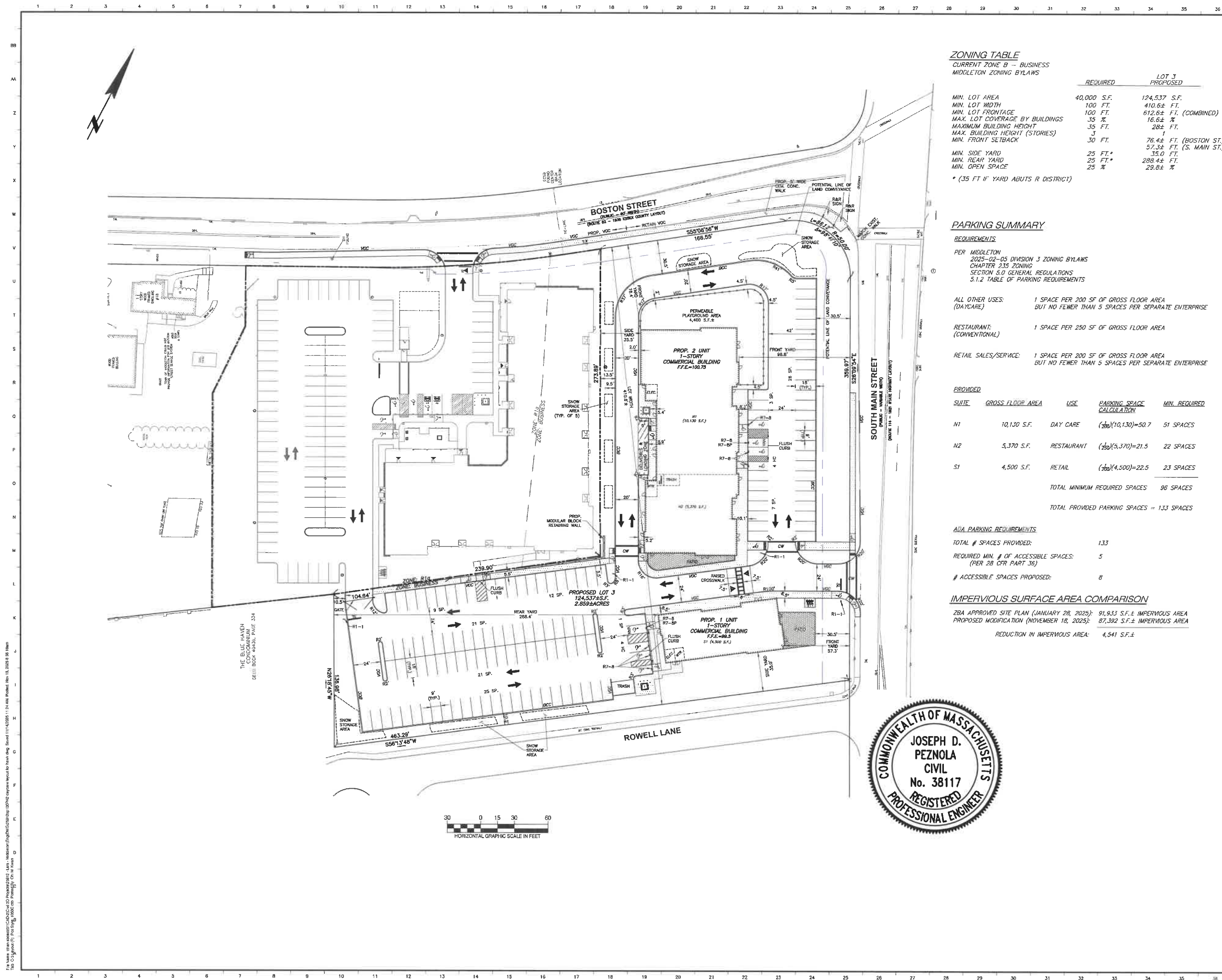


<u>ADA PARKING REQUIREMENTS</u>	
TOTAL # SPACES PROVIDED:	150
REQUIRED MIN. # OF ACCESSIBLE SPACES: (PER 28 CFR PART 36)	5
# ACCESSIBLE SPACES PROPOSED:	8

<u>IMPERVIOUS SURFACE AREA COMPARISON</u>	
ZBA APPROVED SITE PLAN (JANUARY 28, 2025):	91,933 S.F.± IMPERVIOUS AREA
PROPOSED MODIFICATION (NOVEMBER 18, 2025):	85,455 S.F.± IMPERVIOUS AREA
REDUCTION IN IMPERVIOUS AREA:	6,478 S.F.±



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Tab: 001 (0) Plotting: 11/14/2025 1:24:44 PM Plotting User: \\nas001\cadd\25912sp100PH2\25912sp100PH2.dwg



ZONING TABLE
CURRENT ZONE B - BUSINESS
MIDDLETON ZONING BYLAWS

	REQUIRED	LOT 3 PROPOSED
MIN. LOT AREA	40,000 S.F.	124,537 S.F.
MIN. LOT WIDTH	100 FT.	410.6± FT.
MIN. LOT FRONTAGE	100 FT.	612.6± FT. (COMBINED)
MAX. LOT COVERAGE BY BUILDINGS	35 %	16.6± %
MAXIMUM BUILDING HEIGHT	35 FT.	28± FT.
MAX. BUILDING HEIGHT (STORIES)	3	1
MIN. FRONT SETBACK	30 FT.	76.4± FT. (BOSTON ST.) 57.3± FT. (S. MAIN ST.)
MIN. SIDE YARD	25 FT.*	35.0 FT.
MIN. REAR YARD	25 FT.*	288.4± FT.
MIN. OPEN SPACE	25 %	29.8± %

* (35 FT IF YARD ABUTS R DISTRICT)

PARKING SUMMARY

REQUIREMENTS

PER MIDDLETON
2025-02-05 DIVISION 3 ZONING BYLAWS
CHAPTER 235 ZONING
SECTION 5.0 GENERAL REGULATIONS
5.1.2 TABLE OF PARKING REQUIREMENTS

ALL OTHER USES: 1 SPACE PER 200 SF OF GROSS FLOOR AREA
BUT NO FEWER THAN 5 SPACES PER SEPARATE ENTERPRISE

RESTAURANT:
(CONVENTIONAL) 1 SPACE PER 250 SF OF GROSS FLOOR AREA

RETAIL SALES/SERVICE: 1 SPACE PER 200 SF OF GROSS FLOOR AREA
BUT NO FEWER THAN 5 SPACES PER SEPARATE ENTERPRISE

PROVIDED

SUITE	GROSS FLOOR AREA	USE	PARKING SPACE CALCULATION	MIN. REQUIRED
N1	10,130 S.F.	DAY CARE	$(10,130)/50.7 = 200$	51 SPACES
N2	5,370 S.F.	RESTAURANT	$(5,370)/21.5 = 250$	22 SPACES
S1	4,500 S.F.	RETAIL	$(4,500)/22.5 = 200$	23 SPACES
TOTAL MINIMUM REQUIRED SPACES				96 SPACES
TOTAL PROVIDED PARKING SPACES				133 SPACES

ADA PARKING REQUIREMENTS

TOTAL # SPACES PROVIDED: 133

REQUIRED MIN. # OF ACCESSIBLE SPACES:
(PER 28 CFR PART 36) 5

ACCESSIBLE SPACES PROVIDED: 8

IMPERVIOUS SURFACE AREA COMPARISON

ZBA APPROVED SITE PLAN (JANUARY 28, 2025): 91,933 S.F.± IMPERVIOUS AREA
PROPOSED MODIFICATION (NOVEMBER 18, 2025): 87,392 S.F.± IMPERVIOUS AREA

REDUCTION IN IMPERVIOUS AREA: 4,541 S.F.±



**MIDDLETON
CORNER**

49 South Main Street
Middletown, Massachusetts 01949

PREPARED FOR:

**VILLEBRIDGE
ACQUISITIONS
LLC.**

1150 Great Plain Avenue # 920056
Needham, Massachusetts 02492

**HANCOCK
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VOICE (617) 357-8145, FAX (617) 357-8495
WWW.HANCOCKASSOCIATES.COM

PROP. LEGEND

---	PROPOSED PROPERTY LINE
---	PROPOSED CROSS WALK
---	RAISED CROSSWALK
---	BCC (BITUMINOUS CONC. CURB)
---	VOC (VERTICAL GRANITE CURB)
---	PAINTED ISLAND
---	DIRECTION OF TRAVEL
---	CEMENT CONC. PAD/WALK (ASPHALT WALK OPTION)
---	TRAFFIC SIGNS MOUNTED ON A P-S POST
---	TRANSFORMER WITH PROTECTIVE BOLLARDS
---	STOP LINE
---	RETAINING WALL
---	BIKE RACK
---	104
---	100.71
---	SPOT GRADE
---	FENCE

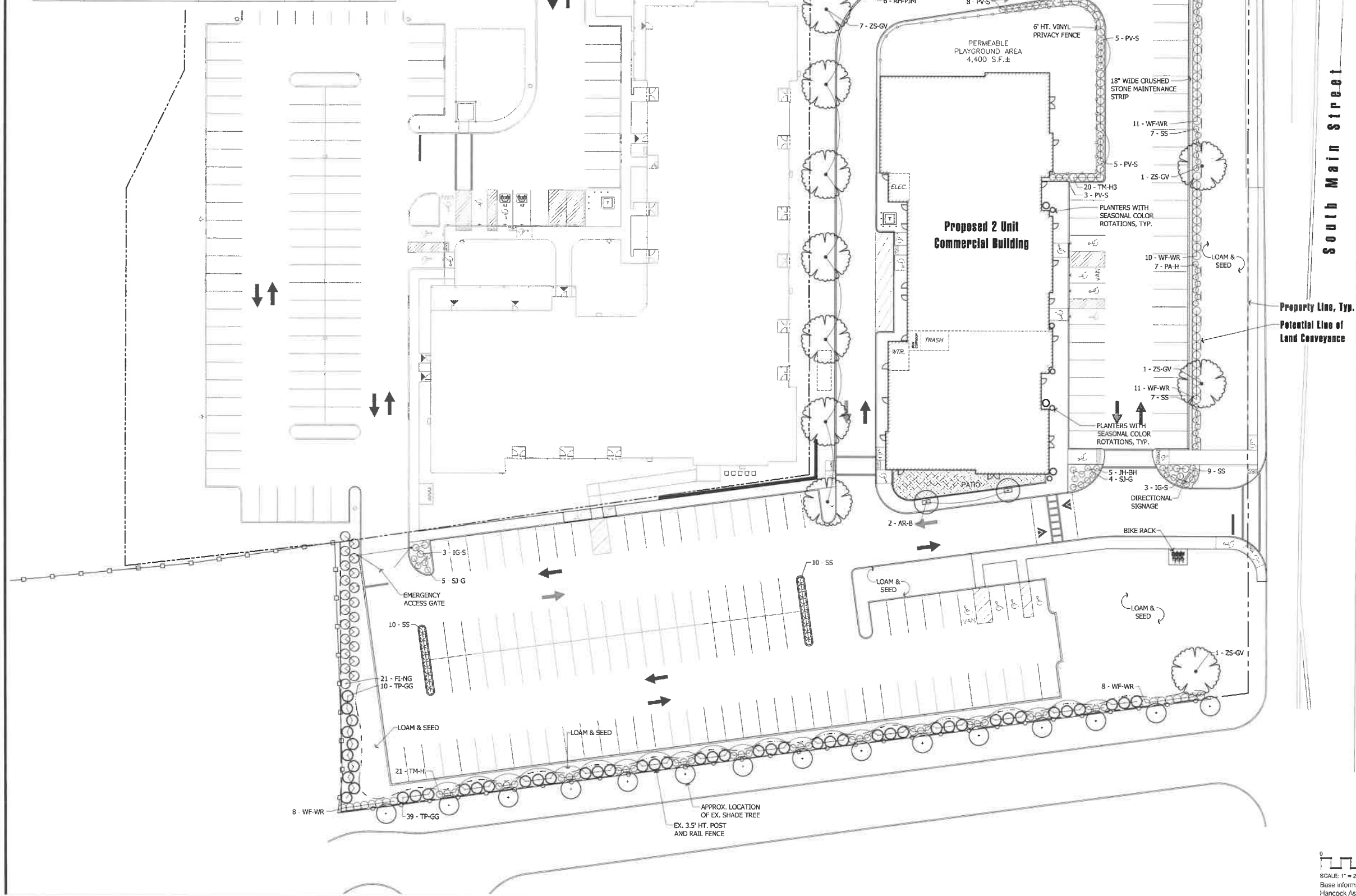
1	DM/FAK	JP	5/16/24	PEER REVIEW COMMENTS
2	DM/FAK	JP	7/16/24	NORTH & SOUTH RETAIL BLDGS
3	DM/FAK	JP	1/28/25	RETAIL BLDGS & PARKING LOT
4	DM/FAK	JP	2/12/25	CURB TYPE & LEGEND
5	DM/FAK	JP	11/18/25	RETAIL BLDGS & PARKING LOT

NO.	BY	APP.	DATE	ISSUE/REVISION DESCRIPTION
DATE:	2/27/24	SCALE:	1" = 30'	
DRAWN BY:	DMK	DESIGNED BY:	FAK	
CHECKED BY:	DTW	APPROVED BY:	JP	

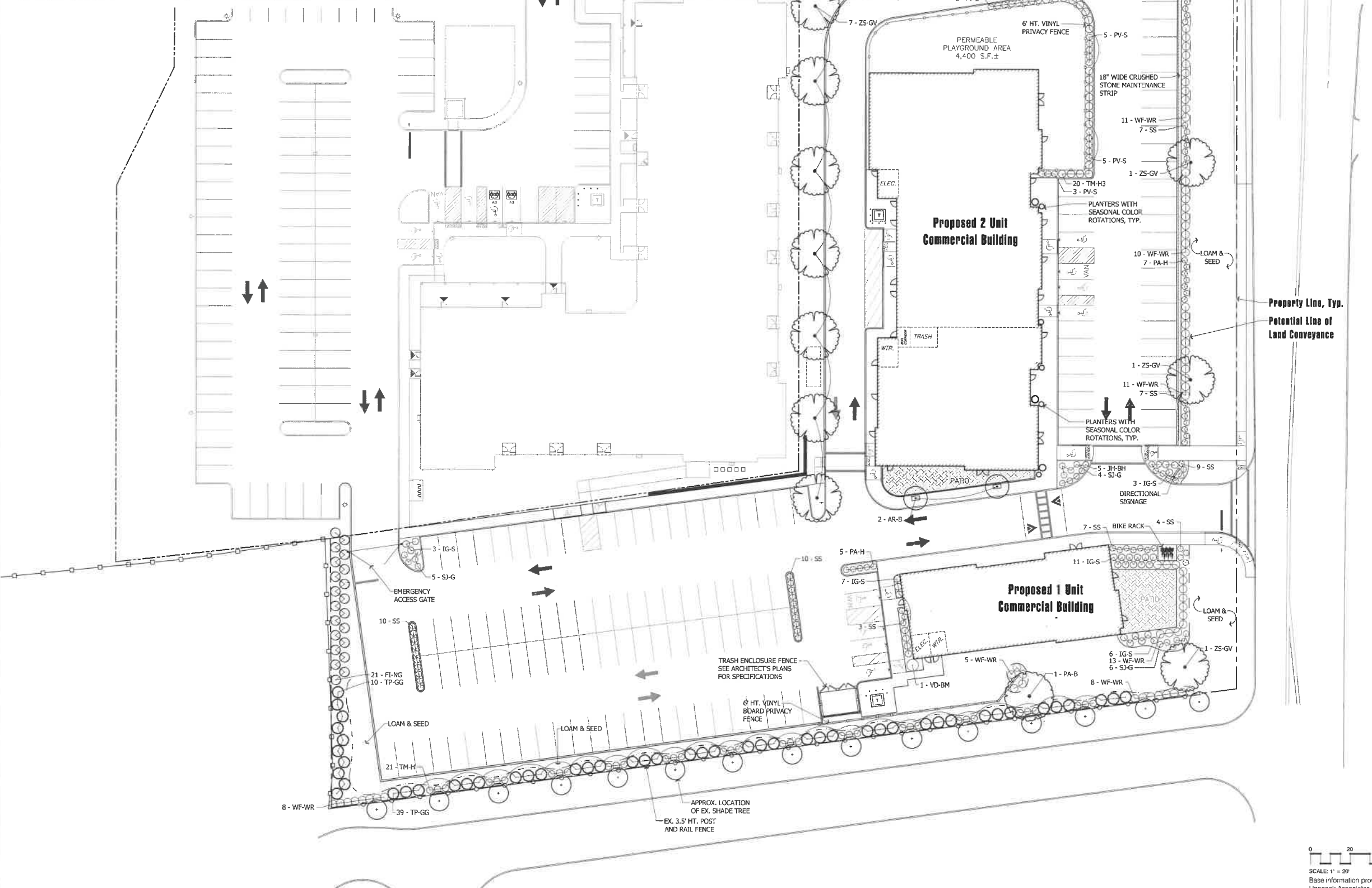
**PHASE II
LAYOUT & MATERIALS
PLAN**

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DWG: 25912sp100PH2 daycare layout for hawk.dwg
LAYOUT: C-3 Layout (R)
SHEET: C-3
PROJECT NO.: 25912

PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANT SIZE
TREES						
AR-B	2	<i>Acer rubrum</i> 'Bowhat'	Bowhat Red Maple	8 B B	3-3.5' HT.	
PA-B	3	<i>Pinus x carolin</i> 'Bloodgood'	Bloodgood Looden Pine Tree	8 B B	3-3.5' HT.	
ZS-GV	10	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Sawleaf Zelkova	8 B B	3-3.5' HT.	
EVERGREEN TREES						
TP-GC	49	<i>Thuja plicata</i> 'Green Giant'	Green Giant Western Arborvitae	8 B B	7-8' HT.	
SHRUBS						
PI-HE	21	<i>Forsythia x intermedia</i> 'New Hampshire Gold'	New Hampshire Gold Forsythia	1 B B	3-3.5' HT.	
IG-S	16	<i>Ilex glabra</i> 'Shamrock'	Shamrock Lillybush Holly	2 GAI	2-2.5' HT.	
JH-BH	5	<i>Juniperus horizontalis</i> 'Bar Harbor'	Bar Harbor Creeping Juniper	2 GAI	18-24" SPD.	
PA-H	24	<i>Penstemon alpestris</i> 'Hameli'	Hameli Fortune Penstemon	2 GAI		
PK-S	28	<i>Pieris japonica</i> 'Shiratanii'	Shiratanii Switch Grass	3 GAI		
RH-PI-J	6	<i>Rhododendron x 'P.J.H.'</i>	P.J.H. Rhododendron	8 B B	18-24" HT.	
SJ-G	23	<i>Spiraea japonica</i> 'Goldflame'	Goldflame Japanese Spirea	2 GAI	2-2.5' HT.	
SC	4	<i>Schizachyrium scoparium</i>	Little Bluestem	2 GAI		
TM-B	36	<i>Taxus x media</i> 'Hicksii'	Hicks Yew	8 B B	4-4.5' HT.	
TM-B	20	<i>Taxus x media</i> 'Hicksii'	Hicks Yew	8 B B	3-3.5' HT.	
TM-T	16	<i>Taxus x media</i> 'Tauntii'	Taunt's Yew	8 B B	2-2.5' SPD.	
VO-B	12	<i>Veronica scutellaria</i> 'Blue Mist'	Blue Mist Veronazium Verbium	8 B B	3-3.5' HT.	
WF-R	48	<i>Wiegelia florida</i> 'Wim & Rose'	Wim & Rose Weigela	8 B B	2-2.5' HT.	



PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	PLANT SIZE
TREES					
AR-B	2	Acer rubrum 'Bowhall'	Bowhall Red Maple	B & B	3-3.5' CAL.
PA-B	4	Platanus x acerifolia 'Bloodgood'	Bloodgood London Plane Tree	B & B	3-3.5' CAL.
ZS-GV	10	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	B & B	3-3.5' CAL.
EVERGREEN TREES					
TP-GG	99	Thuja plicata 'Green Giant'	Green Giant Western Arborvitae	B & B	7-8' HT.
SHRUBS					
FI-MG	21	Forsythia x intermedia 'New Hampshire Gold'	New Hampshire Gold Forsythia	B & B	3-3.5' HT.
IG-S	40	Ilex glabra 'Shamrock'	Shamrock Holly	Cont.	2-2.5' HT.
JH-BH	5	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	Cont.	18-24" SPD.
PA-H	24	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 GAL	
PV-S	28	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	3 GAL	
RH-PJM	6	Rhododendron x 'P.J.M.'	P.J.M. Rhododendron	B & B	2-2.5' HT.
SJ-G	29	Spiraea japonica 'Goldflame'	Goldflame Japanese Spirea	Cont.	18-24" HT.
SS	57	Schizachyrium scoparium	Little Bluestem	2 GAL	
TM-H	35	Taxus x media 'Hicksii'	Hicks Yew	B & B	4-4.5' HT.
TM-H3	20	Taxus x media 'Hicksii'	Hicks Yew	B & B	3-3.5' HT.
TK-T	16	Taxus x media 'tauntonii'	Taunton's Yew	B & B	2-2.5' SPD.
VD-BM	4	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	B & B	3-3.5' HT.
WF-WR	66	Weigela florida 'Wine & Roses'	Wine & Roses Weigela	B & B	2-2.5' HT.





Hawk Design, Inc.
Landscape Architecture
Land Planning
Sagamore, MA
508-833-8800
info@hawkdesigninc.com

HAWK DESIGN, INC. 2025
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Date: 2/27/24

Revisions:		
Num	Date	Description
3	5/9/24	Revised lighting specification to match residential parcel
4	5/15/24	Town submission
5	6/1/24	Add deciduous trees along South Main Street
6	7/9/24	Update building footprint & add parking at north end of building
7	10/25/24	Update site plan and planting
8	3/7/25	Privacy fence
9	11/15/25	Town Submission

Middleton Corner - Phase 2
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Vinebridge Development LLC of Needham, MA

Drawn By: ENL Checked By: TEM

Planting Plan

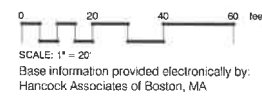
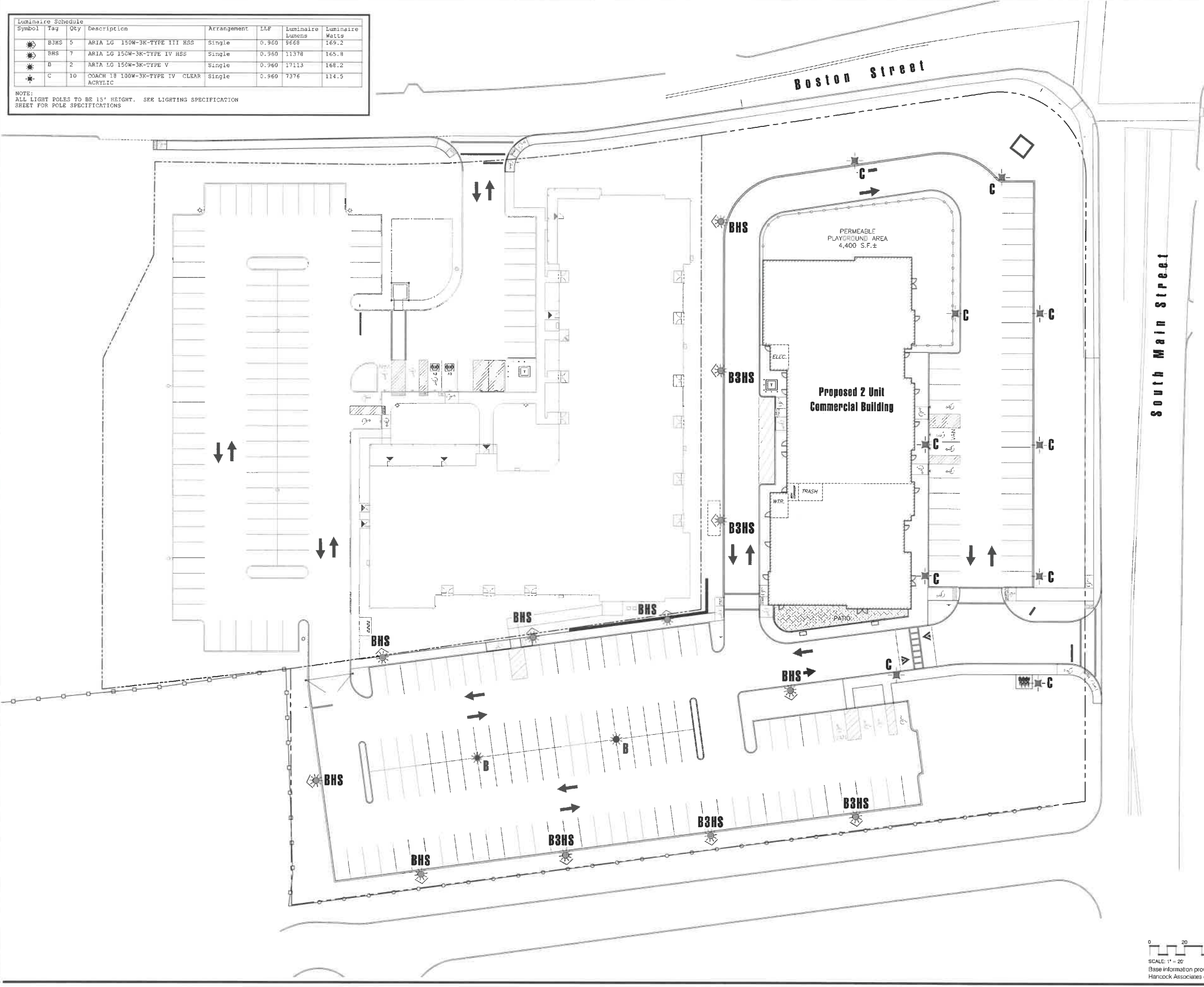
Scale: 1" = 20'-0"


Sheet: **L1.1.2**

0 20 40 60 feet
SCALE: 1" = 20'
Base information provided electronically by:
Hancock Associates of Boston, MA

Luminaire Schedule							
Symbol	Tag	Qty	Description	Arrangement	LLF	Luminaire Lumens	Luminaire Watts
	B3HS	5	ARIA LG 150W-3K-TYPE III HSS	Single	0.960	9668	169.2
	BHS	7	ARIA LG 150W-3K-TYPE IV HSS	Single	0.960	11378	165.8
	B	2	ARIA LG 150W-3K-TYPE V	Single	0.960	17113	168.2
	C	10	COACH 18 100W-3K-TYPE IV CLEAR ACRYLIC	Single	0.960	7376	114.5


NOTE:
ALL LIGHT POLES TO BE 15' HEIGHT. SEE LIGHTING SPECIFICATION SHEET FOR POLE SPECIFICATIONS





Hawk Design, Inc.
Landscape Architecture
Land Planning
Sagamore, MA
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Date: 2/27/24

Revisions:

Num	Date	Description
3	5/8/24	Revise lighting specification to match residential parcel
4	5/15/24	Town submission
5	6/12/24	Add deciduous trees along South Main Street
6	7/29/24	Update building footprint & add planting at north end of building
7	1/29/25	Update site plan and planting
8	3/7/25	Privacy fence
9	11/14/25	Town Submission

Middleton Corner - Phase 1
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Villenridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

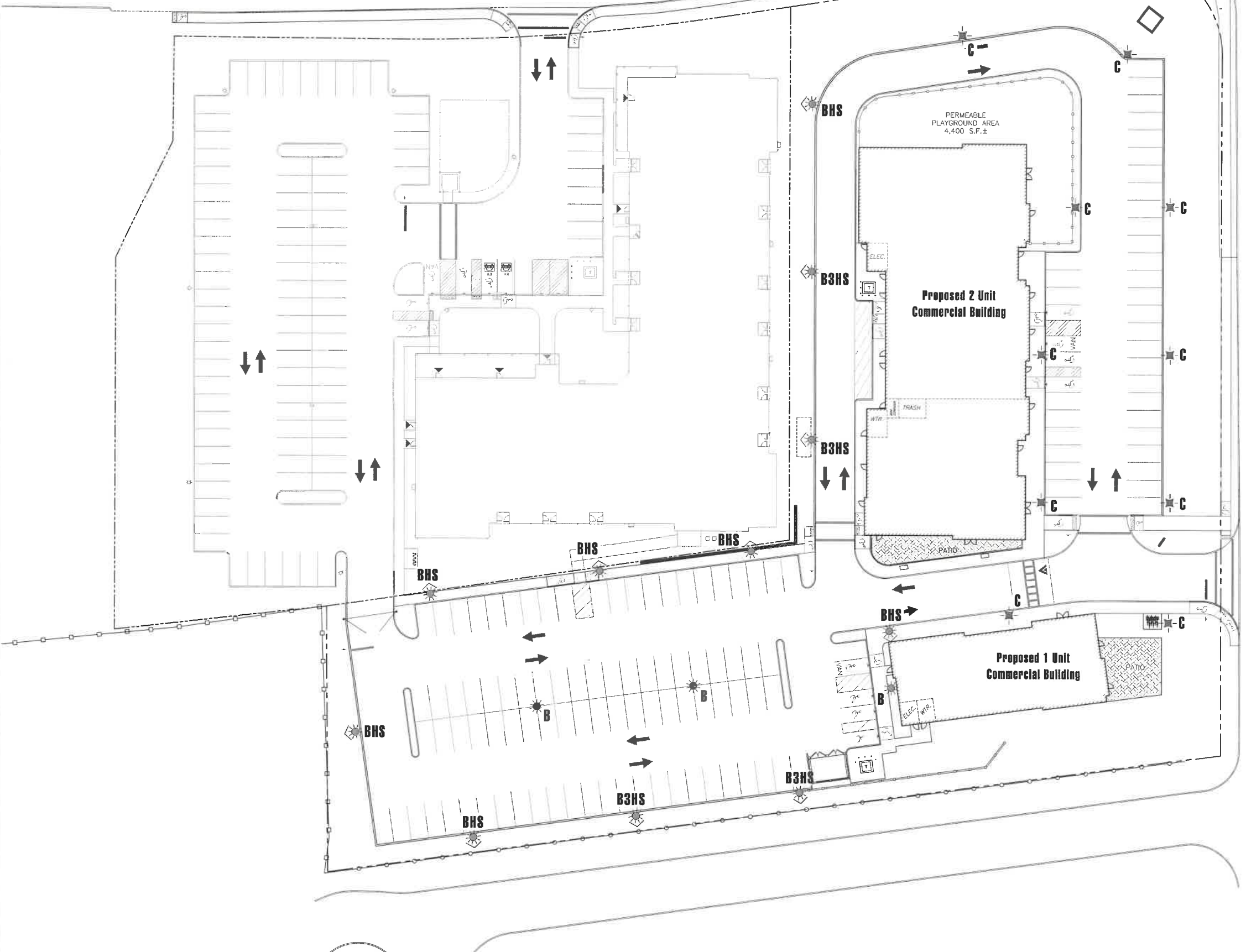
Lighting Plan

Scale: 1" = 20'-0"

Sheet: **L2.1.1**

Luminaire Schedule							
Symbol	Tag	Qty	Description	Arrangement	LLF	Luminaire Lumens	Luminaire Watts
☼	B3HS	4	ARIA LG 150W-3K-TYPE III HSS	Single	0.960	9668	165.2
☼	BHS	7	ARIA LG 150W-3K-TYPE IV HSS	Single	0.960	11378	165.8
☼	B	3	ARIA LG 150W-3K-TYPE V	Single	0.960	17113	168.2
☼	C	10	COACH 18 100W-3K-TYPE IV CLEAR ACRYLIC	Single	0.960	7376	114.5

NOTE:
ALL LIGHT POLES TO BE 15' HEIGHT. SEE LIGHTING SPECIFICATION SHEET FOR POLE SPECIFICATIONS



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Date: 2/27/24

Revisions:		
Num	Date	Description
3	5/8/24	Revised lighting specification to match residential parcel
4	5/15/24	Town submission
5	6/10/24	Add deciduous trees along South Main Street
6	7/9/24	Update building footprint & add parking at north end of building
7	10/29/25	Update site plan and planning
8	3/1/25	Privacy fence
9	11/19/25	Town Submission

Middleton Corner - Phase 2
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Villanridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

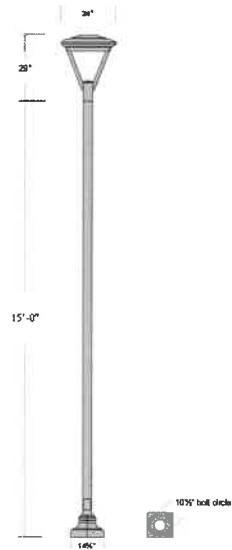
Lighting Plan

Scale: 1" = 20'-0"

Sheet: **L2.1.2**

AREALIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P4



CATALOG # ARIA LG-150W-3A-SMT-TYPE IV-HSS-SRAP4-16-AB01-COLOR

APPROVED BY _____ DATE: _____

ECHO LIGHTING, INC.
15000 E. Washington Blvd.
Carmichael, CA 95608
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www.echo-lighting.com

Post Mount Site Light Type BHS

ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type IV

OPTIONS: House side shield

ARM: N/A

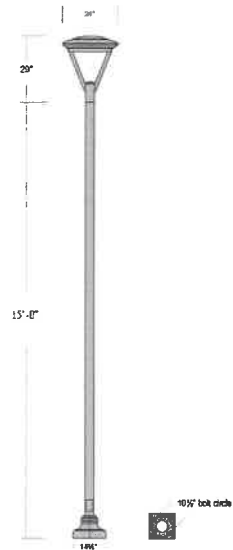
POLE: 4" OD Straight round aluminum pole 125wall with decorative 2 pc base cover

ANCHOR BOLTS: (4) 1/4" x 2 1/4" x 3" hot dipped galvanized anchor bolts

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory.
All exposed hardware shall be stainless steel.

AREALIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P5 P6 P7



CATALOG # ARIA LG-150W-3A-SMT-TYPE IV-HSS-SRAP4-16-AB01-COLOR

APPROVED BY _____ DATE: _____

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www.echo-lighting.com

Post Mount Site Light Type B

ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type V

OPTIONS: House side shield

ARM: N/A

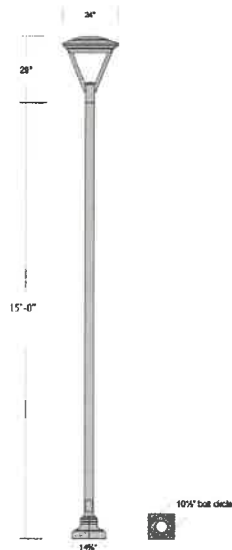
POLE: 4" OD Straight round aluminum pole 125wall with decorative 2 pc base cover

ANCHOR BOLTS: (4) 1/4" x 2 1/4" x 3" hot dipped galvanized anchor bolts

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory.
All exposed hardware shall be stainless steel.

AREALIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P3



CATALOG # ARIA LG-150W-3A-SMT-TYPE IV-HSS-SRAP4-16-AB01-COLOR

APPROVED BY _____ DATE: _____

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Email: info@echo-lighting.com
www.echo-lighting.com

Post Mount Site Light Type B3HS

ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type III

OPTIONS: House side shield

ARM: N/A

POLE: 4" OD Straight round aluminum pole 125wall with decorative 2 pc base cover

ANCHOR BOLTS: (4) 1/4" x 2 1/4" x 3" hot dipped galvanized anchor bolts

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory.
All exposed hardware shall be stainless steel.

COACH SERIES

AREA LIGHTING | POST TOP, WALL MOUNT

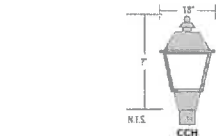


FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 7-year limited warranty
- UL Listed electrical components
- Suitable for wet locations

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www.echo-lighting.com

Post Mount Site Light Type C



SPECIFICATIONS

LUMINAIRE: All aluminum construction.

DRIVER: Electronic LED driver, 120-277V
Options: 480V Driver, Dimming control 0-10V.

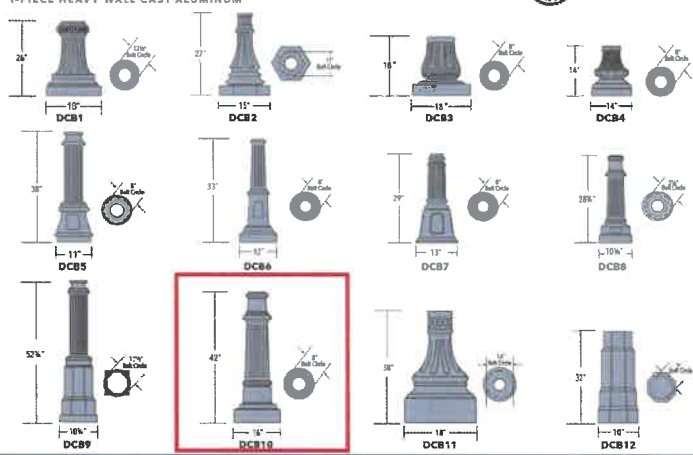
ELECTRICAL: All components UL recognized. Luminaire shipped complete & ready to install.

FINISH: Powder coat - Standard colors are Black, White, Dark Green & Dark Bronze. Custom colors available, consult factory.
All exposed hardware shall be stainless steel.

ORDER INFORMATION EXAMPLE: CCH2-30W-4K-SMT-OPL-01-PT-GRN-SPC									
ORDER	MODEL	WATTAGE	TEMP	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE
CCH2	30W	4K	SMT	CL	PT	GRN	SPC		
COCH	30W	4K	SMT	CL	PT	GRN	SPC		
	30W	4K	SMT	CL	PT	GRN	SPC		
	30W	4K	SMT	CL	PT	GRN	SPC		
	30W	4K	SMT	CL	PT	GRN	SPC		
	30W	4K	SMT	CL	PT	GRN	SPC		
	30W	4K	SMT	CL	PT	GRN	SPC		
	30W	4K	SMT	CL	PT	GRN	SPC		
	30W	4K	SMT	CL	PT	GRN	SPC		

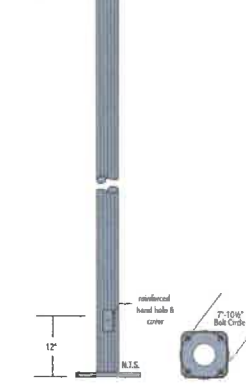
DECORATIVE BASES

1-PIECE HEAVY WALL CAST ALUMINUM

ECHO LIGHTING, INC.
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Carmichael, CA 95608
Phone: +1 323 890 9008
Email: info@echo-lighting.com
www.echo-lighting.com

Type C Post Base

ROUND FLUTED ALUMINUM POLE



SPECIFICATIONS

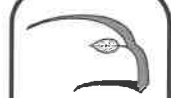
CONSTRUCTION: Fabricated with 6061 T6 alloy aluminum tubing, including a 3/4" thick anchor base, base cover, removable cap or standard 2" O.D. x 5" tenon, reinforced hand hole w/ cover, grounding lug, and (4) galvanized anchor bolts.

FINISH: Powder coat - Standard colors are Black, White, Dark Green & Dark Bronze. Custom colors available, consult factory.
All exposed hardware shall be stainless steel.

ORDER INFORMATION EXAMPLE: SRAP4-15'-0"-188"									
SRAP4	15'-0"	188"							
POLE	HEIGHT	WALL	SOFT FINISH	SOFT BASE	SOFT TOP	SOFT COVER	SOFT COVER	SOFT COVER	SOFT COVER
SRAP3	8'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"
SRAP3	10'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"
SRAP3	12'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"
SRAP4	14'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"
SRAP4	16'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"
SRAP4	18'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"
SRAP5	20'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"
SRAP5	22'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"
SRAP5	24'-0"	188"	7" BC	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"	1/4" x 12" x 1"

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Type C Post

Base information provided electronically by:
Hancock Associates of Boston, MA

Hawk Design, Inc.
Landscape Architecture
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Sagamore, MA
508-833-8800
info@hawkdesigninc.com

HAWK DESIGN, INC. 2025

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HAWK DESIGN, INC.



Date: 2/27/24

Revisions:

Num	Date	Description
3	5/8/24	Revise lighting specification to match residential parcel
4	5/7/24	Town submission
5	6/1/24	Add deciduous trees along South Main Street
6	7/29/24	Update building footprint & add planting at north end of building
7	1/29/25	Update site plan and planting
8	3/2/25	Privacy fence
9	11/19/25	Town Submission

Middleton Corner
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Villebridge Development LLC of Needham, MA

Drawn By: ENL Checked By: TEM

**Lighting
Specifications**

Scale: N/A

Sheet: **L2.2**



Hawk Design, Inc.
Landscape Architecture
Land Planning

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Date: 2/27/24

Revisions:

Num	Date	Description
3	5/8/24	Revise lighting specification to match residential parcel
4	5/16/24	Town submission
5	8/2/24	Add deciduous trees along South Main Street
6	7/29/24	Update building footprint & add planting at north end of building
7	1/29/25	Update site plan and planting
8	3/7/25	Privacy fence
9	11/18/25	Town Submission

Middleton Corner
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Vinebridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

**Planting
Specifications**

Scale: As Noted

Sheet:

LD1

General Landscape Notes:

1. (1) CONTRACTOR REQUIREMENTS:

A) ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, FROM ALL FEDERAL, STATE AND LOCAL AUTHORITIES.

B) THE CONTRACTOR SHALL ARRANGE FOR AND OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR THE COMPLETE WORK SPECIFIED HEREIN AND SHOWN ON ALL THE DRAWINGS. THE CONTRACTOR SHALL PAY FOR ANY FEES NOT WAIVED.

1. (2) UTILITIES:

A) LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE RELEVANT UTILITY COMPANIES PRIOR TO DOING ANY EXCAVATION ON THE SITE. IF ANY WORK IS TO BE DONE AROUND UNDERGROUND UTILITIES, THE APPROPRIATE AUTHORITY OF THAT UTILITY MUST BE NOTIFIED OF THE IMPENDING WORK.

B) UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY INSTALLATION. ADJUSTMENTS MAY BE NECESSARY IN THE FIELD TO ACCOMMODATE UTILITY LOCATIONS. REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

C) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES DONE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

1. (3) PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS WORK COMPLETED BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APPROXS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

1. (4) QUANTITIES: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES, AND VARIETIES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANT IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF UNLABELED PLANTS IN PLAN FOR CLARIFICATION. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION.

1. (5) APPLICABLE PLANT MATERIAL STANDARDS: ALL PLANT MATERIALS ARE TO COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN. PLANTING METHODS WILL BE IN ACCORDANCE WITH SITE-SPECIFIC REQUIREMENTS.

1. (6) PLANT HARDINESS: ALL TREES AND SHRUBS SHALL BE NURSERY GROWN WITHIN A USDA PLANT HARDINESS ZONE, WHICH IS THE SAME AS, OR COLDER THAN, THE ZONE IN WHICH THE PROJECT IS LOCATED.

1. (7) PLANTING SEASONS: PLANTING SHALL ONLY OCCUR DURING SPECIFIED SEASONS. SPRING SEASON SHALL BE FROM MARCH 1 TO JUNE 15. FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 THROUGH NOVEMBER 15. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.

1. (8) PLANT SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASON FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIALS SHALL STATE THE NAMES OF NURSERIES THAT HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.

1. (9) THE LANDSCAPE ARCHITECT SHALL RESERVE THE RIGHT TO INSPECT ALL PLANT MATERIALS AT THE NURSERY, UPON SITE DELIVERY AND DURING INSTALLATION TO INSURE SPECIFICATIONS AND PROCEDURES ARE ADHERED TO.

1. (10) MINIMUM SIZES: ALL PLANTS 3" OR GREATER IN HEIGHT OR SPREAD SHALL BE BALLED AND BURLAPPED. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUMS ON WHICH THE PLANTS ARE TO BE JUDGED.

1. (11) DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY, AND REPLACED WITH THE SAME PLANT & SIZE REGARDLESS OF SEASON, WEEKLY FROM THE JOB BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN AN UPDATED COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.

1. (12) PLANT MATERIAL REMOVAL: NO EXISTING TREES SHALL BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT EXCEPT WHERE NOTED ON THE PLANS. CONTRACTORS WHO REMOVE EXISTING TREES WITHOUT WRITTEN APPROVAL WILL BE REQUIRED TO MAKE REMEDIES DETERMINED BY THE GOVERNING URBAN FORESTER OR EQUIVALENT AUTHORITY. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON THE PLANS.

1. (13) ALL DISTURBED AREAS NOT TO RECEIVE PLANT MATERIALS ARE TO BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS. SEE SECTION 4.0.

1. (14) LEDGE BouldERS: IF DURING SITE EXCAVATION, LEDGE BouldERS ARE AVAILABLE, THESE ARE TO BE STOCKPILED FOR USE IN EARTH BERMS IF APPLICABLE, WITH HAWK DESIGN, INC. PRIOR TO INSTALLATION. THIS ITEM WILL ONLY APPLY IF SO SPECIFIED ON DRAWINGS. BouldERS SIZES TO BE STOCKPILED WILL RANGE FROM TWO TO FIVE FEET IN DIAMETER. SEE APPROPRIATE DETAIL FOR INSTALLATION COORDINATION.

1. (15) SLEEVES: LANDSCAPE OR SITE CONTRACTOR SHALL PLACE INDIVIDUAL SLEEVES FOR LIGHTING AND IRRIGATION UNDER ANY PROPOSED WALKWAY OR VEHICULAR ROADWAY PRIOR TO INSTALLATION. COORDINATE SLEEVE LOCATIONS WITH IRRIGATION AND LIGHTING CONTRACTORS PRIOR TO INSTALLATION.

1. (16) DO NOT CLOSE OR OBSTRUCT ANY STREET, SIDEWALK, ALLEY OR PASSAGEWAY WITHOUT PRIOR NOTIFICATION AND PERMISSION. CONDUCT OPERATIONS AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE USE ORIGINARILY MADE OF ROADS, DRIVEWAYS, ALLEYS, SIDEWALKS OR OTHER FACILITIES NEAR ENOUGH TO THE WORK TO BE EFFECTED THEREBY.

Planting Materials:

2. (1) PLANTING MATERIAL ITEMS IN SECTION 2.0 ARE TO BE INCORPORATED DURING PLANT INSTALLATION UNLESS OTHERWISE DETERMINED UNNECESSARY IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. SEE SECTION 3.1.

MULCH - MULCH WILL BE DUMBLE-SHREPPED PINE BARK MULCH.

- TREES AND SHRUBS SHALL RECEIVE AN EVEN 3" MULCH LAYER.

- GROUNDCOVERS, PERENNIALS AND ANNUALS SHALL RECEIVE AN EVEN 2" MULCH LAYER.

MANURE - TO BE WELL ROTTED, CORDLESS, UNLEACHED COW MANURE, CONTAINING NOT MORE THAN 15% BEDDED MATERIALS SUCH AS STRAW, WOOD CHIPS OR SHAVINGS, AGED NOT LESS THAN TWO YEARS OLD.

HERBICIDE - A PRE-EMERGENCE WEED KILLER IS TO BE USED ON ALL LAWN AND PLANTING AREAS PRIOR TO INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS. HERBICIDES ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.

FERTILIZER - ALL TREES AND SHRUBS TO HAVE SLOW RELEASE PACKET OR PELLETS PLACED INTO THE PLANT PIT WITH A MINIMUM ANALYSIS OF 10-10-10. ALL GROUNDCOVERS, PERENNIALS AND ANNUALS ARE TO RECEIVE A BROADCAST APPLICATION OF A 14-14-14 FERTILIZER AT 3 LB PR. 100 SQ. FT. APPLY AS PER MANUFACTURER'S INSTRUCTIONS. FERTILIZERS ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.

TOPSOIL - ACCEPTABLE TOPSOIL SHALL BE FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER EXTRANEOUS MATTER OVER ONE INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT. IN SITUATIONS WHICH REQUIRE A CUSTOM TOPSOIL OR STRUCTURAL SOIL, THE SOIL MIXTURE SPECIFICATION WILL BE PROVIDED BY THE LANDSCAPE ARCHITECT.

SOIL AMENDMENTS - APPLY AS NECESSARY ACCORDING TO SOIL TEST RESULTS, AS PER MANUFACTURER'S SPECIFICATIONS.

ANTI-DESICCANT - WILT PRUIN NUT OR EQUAL APPLY AS PER MANUFACTURER'S SPECIFICATIONS.

Plant Installation:

3. (1) SOIL TESTING: LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS PRIOR TO ANY PLANT INSTALLATION TO DETERMINE ANY NECESSARY AMENDMENTS TO THE EXISTING SOIL CONDITIONS FOR SEEDING AND PLANTING. THE ANALYSIS WILL ALSO BE REQUIRED FOR ESTABLISHING THE FERTILIZER PROGRAM REQUIRED. COORDINATE RESULTS AND PROVIDE WRITTEN RECOMMENDATIONS TO HAWK DESIGN, INC. 15 DAYS PRIOR TO INSTALLATION.

3. (2) ALL PLANTS SHALL BE TRANSPORTED TO THE SITE IN COVERED TRUCKS, TARPULIN COVERS SHALL BE UTILIZED TO PREVENT WIND DAMAGE OF LOAD.

3. (3) DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS MOIST. DO NOT STORE PLANT MATERIAL ON PAVED AREAS. ROOTS OR BALLS SHALL BE PROTECTED FROM THE SUN OR DRYING WINDS. AS REQUIRED BY TEMPERATURE OR WIND CONDITIONS, APPLY ANTI-DESICCANT EMULSION TO PREVENT DRYING OUT OF PLANT MATERIALS.

3. (4) CONDITIONS FOR PLANT REJECTION:

A) REJECT PLANTS WHEN BALL OF EARTH SURROUNDING ROOTS HAS BEEN CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING.

B) WHEN BURLAP, STAVES AND ROPES REQUIRED IN CONNECTION WITH TRANSPLANTING HAVE BEEN DISPLACED PRIOR TO ACCEPTANCE.

C) WIND DAMAGED PLANT MATERIAL FROM POOR TARPULIN COVER PROCEDURES ARE SUBJECT TO REJECTION.

3. (5) ALL PLANT MATERIAL, WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY, SHALL BE SET ON THE GROUND IN A SHADED LOCATION AND SHALL BE TEMPORARILY PROTECTED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. TEMPORARY WATERING OR IRRIGATION SHALL BE INCORPORATED AND REGULARLY CONDUCTED ON PLANTINGS IN HOLD AREAS.

3. (6) IN CASE OF CONFLICTS DURING CONSTRUCTION WITH UTILITIES, ROCK MATERIALS, TREE ROOTS OR OTHER OBSTRUCTIONS FOR THE EXCAVATION OF SHRUB BEDS AND TREE PITS. CONTACT LANDSCAPE ARCHITECT FOR APPROVED ALTERNATE LOCATIONS.

3. (7) SOIL PERMEABILITY: TEST DRAINAGE OF PLANTING BEDS AND PITS BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF WATER FOR MORE THAN 24 HOURS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

3. (8) SOIL EXCAVATIONS:

A) EXCAVATE TREE PITS AND SHRUB BEDS TO DEPTHS REQUIRED BY PLANTING DETAILS. ALL PITS SHALL BE CIRCULAR IN OUTLINE, EXCEPT FOR WHOLE BEDS. SEE APPROPRIATE PLANTING DETAILS.

B) SOIL EXCAVATIONS FOR BALLED & BURLAP AND CONTAINER PLANTINGS MUST BE NO LESS THAN 2X FOOT BALL DIAMETER. SEE PLANTING DETAILS. IF QUESTIONABLE SUBSURFACE SOIL CONDITIONS EXIST SUCH AS POOR DRAINAGE CONDITIONS, RUBBLE OR OBSTRUCTIONS, REPORT TO THE LANDSCAPE ARCHITECT AND CONSTRUCTION MANAGER BEFORE PLANTING.

3. (9) GRADING:

A) VERIFY GRADES PRIOR TO PLANTING. THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLANT PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL GRADING.

B) POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM AND AROUND BUILDINGS (REFER TO ENGINEER'S GRADING PLANS). REPORT ANY CONFLICTS TO HAWK DESIGN, INC. PRIOR TO INSTALLATION.

C) FINISH GRADE OF PLANTINGS SHALL BE EQUIVALENT TO FORMER EXISTING GRADE OF PLANT IN THE NURSERY.

3. (10) BALLED AND BURLAPPED (BAB) MATERIALS:

A) CUT WIRE BASKETS ONCE IN THE PLANT PIT AND PEEL WIRE BACK.

B) TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL BAB PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL.

Plant Installation Cont'd

3. (11) CONTAINER GROWN STOCK: SHALL BE REMOVED FROM CONTAINER BY CUTTING CONTAINER AWAY TO AVOID ROOT DAMAGE TO PLANT ROOT SYSTEM. IF PLANT ROOT IS BOUND, SLICE ROOT BALLS APPROXIMATELY 2" DEEP WITH KNIFE OR SHARP SPADE.

3. (12) DO NOT USE MUDDY OR FROZEN SOIL TO BACKFILL PLANTINGS.

3. (13) WATERING: THOROUGHLY WATER UNTIL SOIL IS SATURATED AROUND ALL TREES AND SHRUBS AFTER PLANTING AND THROUGHOUT THE TIME PERIOD UNTIL FINAL ACCEPTANCE FROM CLIENT. DURING DRY CONDITIONS, WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT FREE CONDITION.

3. (14) PRUNING: TREES SHALL BE PRUNED TO BALANCE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR NATURAL CHARACTER AND TYPICAL GROWTH HABIT. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SUCKER GROWTH. ALL CUTS TO BE FLUSH WITH TRUNK. DO NOT CUT A LEADER. THE LANDSCAPE ARCHITECT WILL REJECT ALL PLANTS DISFIGURED BY POOR PRUNING PRACTICES. ALL PRUNING CUTS SHALL REMAIN UNPAINTED.

3. (15) STAKING AND GUYING: ALL TREES TO BE STAKED AND GUYED WITHIN 48 HOURS OF PLANTING. METHODS AND MATERIALS FOR STAKING AND GUYING ARE ILLUSTRATED IN INDIVIDUAL PLANTING DETAILS. NEATLY FLAG ALL GUY WIRES WITH ROT RESISTANCE YELLOW TREE MARKING RIBBON.

3. (16) STAKE OUT PLANT LOCATIONS: PRIOR TO PLANTING THE CONTRACTOR SHALL LAYOUT THE EXTENT OF THE PLANT BEDS AND PROPOSED LOCATIONS FOR BAB PLANTS FOR REVIEW BY THE OWNER AND LANDSCAPE ARCHITECT.

3. (17) PLANTING FIELD ADJUSTMENTS:

A) THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES.

B) LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS OR UNDER BUILDING OVERHANGS. NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES IN PLANTING PLAN VS. FIELD CONDITIONS.

C) SHRUBS PLANTED NEAR HVAC UNITS ARE TO BE LOCATED SO THAT SHRUBS AT MATURITY WILL MAINTAIN ONE FOOT (1') AIRSPACE BETWEEN THE UNIT AND THE PLANT. ANY PLANTING SHOWN ADJACENT TO CONDENSER UNITS SHALL BE PLANTED TO SCREEN THE UNITS. HOWEVER, THE CONDENSER UNITS BE INSTALLED IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE PLAN, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL THE MATERIAL AROUND THE CONDENSERS AND ADJUST THE OTHER PLANTING ACCORDINGLY.

3. (18) PLANT BED EDGES/DESIGNS: GROUPS OF SHRUBS, PERENNIALS AND GROUNDCOVERS SHALL BE PLACED IN A CONTINUOUS MULET BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE, FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN 4 FEET OF PLANT BEDS SHALL SHAPE THE SAME MULCH BEDS.

3. (19) A.D.A. - THE AMERICAN WITH DISABILITIES ACT STANDARDS REQUIRE THAT A 7 FOOT VERTICAL CLEARANCE BE MAINTAINED FROM TREE BRANCHES TO FINISHED GRADE WHERE PREEXISTING SIDEWALKS AND/OR TRAILS ARE LOCATED. THE CONTRACTOR IS TO ADJUST TREE PLANTINGS IN FIELD TO SLIGHTLY MINIMIZE BRANCH OVERHANGS AND COMPLY WITH THE A.D.A. ACT.

3. (20) TREE SPACING MINIMUMS: TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM RETAINING WALLS AND WALLS WITHIN THE PROJECT. IF A CONFLICT ARISES BETWEEN ACTUAL SIZE OF AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS KNOWN TO LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.

Seeding and Sodding:

4. (1) SEEDING OF LAWN AREAS: GRASS SEED APPLICATION SHALL BE SPREAD AT THE RATE OF 5 LBS. PER 1,000 SQUARE FEET. SEEDING SHALL BE ACCOMPLISHED BY MEANS OF A HYDRO SEEDING PROCESS.

4. (2) WATERING OF SEEDED AREAS: 24 HOURS AFTER HYDRO SEEDING, THE CONTRACTOR SHALL WATER THE SEEDED AREA LIGHTLY AND SUFFICIENTLY TO A DEPTH OF TWO INCHES (2") 2 TIMES A DAY BETWEEN THE HOURS OF 7 PM AND 7 AM, UNTIL THE SEEDS ARE ESTABLISHED.

4. (3) SEEDED AREA PROTECTION: THE CONTRACTOR SHALL ERECT SUITABLE SIGNS AND BARRICADES NOTIFYING THE PUBLIC TO KEEP OFF THE SEEDED AREAS UNTIL WELL ESTABLISHED. ANY TRAFFIC DAMAGE AND VANDALISM THAT MAY OCCUR PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE REPAIRED AND RESEEDED AT THE OWNER'S EXPENSE. ANY DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.

4. (4) LAYING OF SOD: A KENTUCKY BLUEGRASS SOD MAY - BY LOCAL SOURCE AS SELECTED BY CONTRACTOR, SHALL BE FRESHLY CUT FROM THE SAME FIELD WITH 1/2" - 3/4" INCHES OF SOIL. SOD SHALL BE Laid IMMEDIATELY WITH ANY STORED SOD BEING UNROLLED GRASS SIDE UP AND KEPT WATERED. LAY COURSES TIGHTLY TOGETHER WITHOUT OVERLAPPING WITH THE JOINTS STAGGERED. AFTER SODDING IS COMPLETE, ROLL LIGHTLY. THE CONTRACTOR SHALL WATER THE SODDED AREAS TO A DEPTH OF AT LEAST SIX INCHES UNTIL THE SODDING PROCESS. OWNER SHALL THEN BE RESPONSIBLE FOR WATERING. THE FREQUENCY SHALL BE DETERMINED BY RAIN FALL AND WINDS WITH THE UPPER TWO OR THREE INCHES OF SOIL NOT DRYING OUT MARKEDLY.

4. (5) SODDED AREA: INSPECTION AND ACCEPTANCE: FOUR WEEKS AFTER CONTRACTOR COMPLETES INSTALLATION, LANDSCAPE ARCHITECT SHALL INSPECT THE LAWN TO DETERMINE THE ACCEPTABILITY OF THE INSTALLATION. SODDED AREAS FAILING TO SHOW ADEQUATE ROOTING INTO THE SUBSOIL, OVERLAPPING, COURSE SEPARATION, UNEVENNESS OF THE SURFACE, UNEVEN COURSE COLOR AND EXCESSIVE BROADLEAF WEED CONTENT SHALL BE REPLACED. THE COST SHALL BE BORNE BY THE CONTRACTOR EXCEPT WHERE VANDALISM OR NEGLECT ON THE PART OF OTHERS NOT UNDER THE CONTRACTOR'S CONTROL HAS RESULTED IN DAMAGE.

4. (6) FINAL APPROVAL: SEEDED AND SODDED AREAS WILL RECEIVE FINAL APPROVAL IF COVERAGE IS FULL AND CONSISTENT, FREE OF BARE SPOTS AND WEED FREE. WHEN GRASS IS CUT AT 2" HEIGHT NO SOIL SHOULD BE VISIBLE. SOD AREAS MUST HAVE RECEIVED A MINIMUM OF TWO MOWINGS. AREAS SODDED AFTER NOVEMBER 1ST WILL BE ACCEPTED THE FOLLOWING SPRING - ONE MONTH AFTER THE START OF THE GROWING SEASON, IF THE ABOVE CRITERIA HAS BEEN MET.

Maintenance:

5. (1) MAINTENANCE DURING INSTALLATION: MAINTENANCE OPERATIONS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE AS REQUIRED UNTIL FINAL ACCEPTANCE AND THEN FOR THE GUARANTEE PERIOD. PLANTS SHALL BE KEPT IN A HEALTHY, GROWING CONDITION BY WATERING, PRUNING, SPRAYING, WEEDING AND ANY OTHER NECESSARY OPERATIONS OF MAINTENANCE. PLANT SALICHS AND PIDS SHALL BE KEPT FREE OF WEEDS, GRASS AND OTHER UNDESIRABLE VEGETATION. PLANTS SHALL BE INSPECTED AT LEAST ONCE PER WEEK BY THE CONTRACTOR DURING THE INSTALLATION PERIOD AND ANY NEEDED MAINTENANCE IS TO BE PERFORMED PROMPTLY.

5. (2) GRASS AND WEED CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOWING ALL GRASS AROUND LANDSCAPE BEDS AND INDIVIDUAL TREES AND SHRUBS UNTIL FINAL ACCEPTANCE. WEED CONTROL AREAS SHALL INCLUDE ALL LANDSCAPE BEDS AND THE AREA WITHIN 2 FEET OF THE OUTER EDGE OF THE MULCH AREA OR INDIVIDUAL TREE/SHRUBS.

5. (3) THE CONTRACTOR SHALL WATER, FERTILIZE, WEED, CULTIVATE, DEMULCH, SPRAY TO CONTROL INSECT INFESTATION AND DISEASE AND PERFORM ANY OTHER GOOD HORTICULTURAL PRACTICE NECESSARY TO MAINTAIN THE PLANTS IN A LIVING HEALTHY CONDITION UPON THE TIME FOR TERMINATION OF HIS RESPONSIBILITY FOR CARE AS SET OUT HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTS THROUGHOUT LIFE OF THE CONTRACT.

5. (4) ALL PLANTS STOLEN, DAMAGED OR DESTROYED BY FIRE, AUTOMOBILES, VANDALISM OR ANY OTHER CAUSE, WITH THE EXCEPTION OF PLANTS DAMAGED OR DESTROYED BY THE OWNERS MAINTENANCE OPERATIONS, SHALL BE REPLACED BY THE OWNER PRIOR TO THE DATE OF FINAL ACCEPTANCE.

5. (5) LANDSCAPE CONTRACTOR SHALL PREPARE MAINTENANCE SPECIFICATIONS AND SCHEDULE ANNUAL CARE OF ALL PLANTED AND LAWN AREAS INCLUDING FERTILIZING, WEEDING, MULCHING, BED EDGING, PRUNING AND PEST PREVENTION AND TREATMENT.

Plant Material Guarantee:

*CONTRACTOR SHALL GUARANTEE IN WRITING ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS FOR A PERIOD OF ONE YEAR. THE GUARANTEE IS TO INCLUDE THE FOLLOWING:

6. (1) INSPECTIONS: PERFORM PERIODIC INSPECTIONS DURING GUARANTEE PERIOD WITH RESULTING WRITTEN REPORTS TO OWNER, PROJECT ADMINISTRATOR AND LANDSCAPE ARCHITECT STATING CONDITIONS AND RECOMMEND MAINTENANCE MODIFICATIONS. THE CONTRACTOR MUST CONTACT THE OWNER AND LANDSCAPE ARCHITECT AT LEAST 10 DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTIONS.

6. (2) REMOVAL AND REPLACEMENT OF PLANTS PROVIDED BY CONTRACTOR TO BE DONE WITHIN THIRTY DAYS OF NOTIFICATION BY OWNER OF THEIR UNSATISFACTORY CONDITION DURING GROWING SEASONS. REPLACEMENT MATERIALS MUST BE EQUAL IN TYPE AND SIZE PER THE PROJECT'S PLANT LIST.

6. (3) WHEN REPLACEMENT PLANT SPECIES IS EITHER NOT READILY AVAILABLE OR NO LONGER SUITABLE TO EXISTING SITE CONDITIONS WRITTEN NOTICE RECOMMENDATION OF SUBSTITUTION TO BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT WITHIN FIFTEEN DAYS FOR APPROVAL.

6. (4) REMOVAL OF TREES SUPPORTS AND DEAD LIMBS PRIOR TO END OF GUARANTEE INSPECTION PERIOD.

6. (5) CONTINUE WITH MAINTENANCE, SEE SECTION 5.0

6. (6) GUARANTEE SHALL BEGIN UPON DATE OF FINAL ACCEPTANCE FROM OWNER AND WILL CONTINUE FOR ONE YEAR.

Site Cleanup:

7. (1) SITE WORK CONDITIONS: EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY WHEN PLANTING IN AN AREA HAS BEEN COMPLETED. THE AREA SHALL BE CLEARED OF ALL DEBRIS, SOIL PILES AND CONTAINERS DAILY. WHERE EXISTING GRASS AREAS HAVE BEEN DAMAGED OR SCARRED DURING PLANTING OPERATIONS, THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS AT HIS EXPENSE.

7. (2) CLEAN PAVED AREAS UTILIZED FOR HAULING OR EQUIPMENT STORAGE AT END OF EACH WORKDAY.

7. (3) MAINTAIN VEHICLES AND EQUIPMENT IN CLEAN CONDITION TO PREVENT SOILING OF ROADS, WALKS OR OTHER PAVED OR SURFACED AREAS.

7. (4) REMOVE PROTECTIVE BARRIERS AND WARNING SIGNS AT TERMINATION OF LAWN ESTABLISHMENT.

Irrigation Notes:

8. (1) ALL IRRIGATION SYSTEM COMPONENTS SHALL BE SUPPLIED BY REGIONALLY AUTHORIZED DISTRIBUTORS TO PROVIDE SINGLE SOURCE RESPONSIBILITY FOR WARRANTY SERVICE AND OPERATIONS TO CONFORM TO SPECIFICATIONS IN ALL RESPECTS.

8. (2) THE CONTRACTOR IS TO SUBMIT PLANS PREPARED BY A IRRIGATION SPECIALIST TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

8. (3) ALL LINE VOLTAGE TO CONTROLLER AND ASSOCIATED BREAKER, CONDUIT ETC TO BE PERFORMED BY A LICENSED ELECTRICIAN.

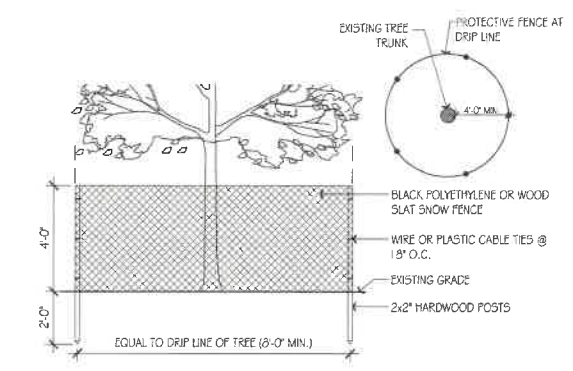
8. (4) ALL WIRES FOR RAIN SENSOR TO BE RUN IN SCHEDULE 40 PVC CONDUIT FOR APPLICATIONS IN EXPOSED AREAS UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.

8. (5) SLEEVES TO BE COORDINATED, LOCATED AND INSTALLED UNDER ALL HARDSCAPE FEATURES SUCH AS WALKS, WALLS AND DRIVEWAYS. THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ALL CONFLICT AND DISCREPANCIES.

8. (6) CONTRACTOR WILL REVIEW WITH CLIENT ALL IRRIGATION PROCEDURES AND PROCESSES (i.e. TIMERS, ZONES AND ALL OTHER ITEMS INVOLVED WITH THE IRRIGATION SYSTEM) AND PROVIDE NECESSARY DOCUMENTATION FOR OPERATION OF IRRIGATION SYSTEM.

8. (7) THE CONTRACTOR IS TO PROVIDE WIRES FOR FUTURE EXPANSION IN 1/2" DIAMETER VALVE BOX AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CLIENT.

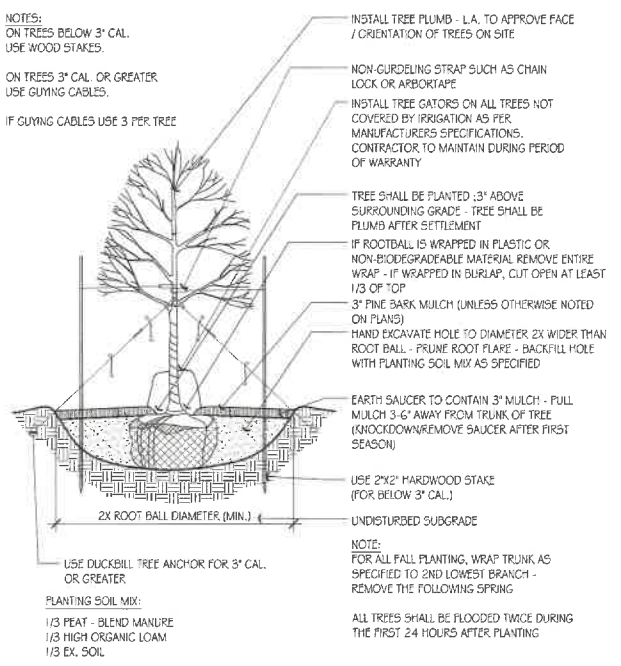
8. (8) UNLESS INDICATED OTHERWISE, ALL PLANT BEDS ARE TO BE IRRIGATED WITH DRIP IRRIGATION. ALL LAWN AREAS TO BE IRRIGATED WITH SPRAY HEADS, MODEL/SYSTEMS T-100, AND VERIFIED BY LANDSCAPE ARCHITECT AND IRRIGATION CONTRACTOR.



- NOTES:
1. PROTECTIVE FENCE TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
 2. NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT.
 3. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
 4. DO NOT NAIL BOARDS OR FENCING TO TREES DURING CONSTRUCTION.
 5. ANY EXCAVATING WITHIN DRIFLINE MUST BE APPROVED BY LANDSCAPE ARCHITECT AND MUST BE HAND-DUG. CONTRACTOR SHALL NOT CUT ANY ROOTS AND/OR BRANCHES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
 6. ROOTS EXPOSED AND/OR DAMAGED DURING GRADING & CONSTRUCTION OPERATIONS SHALL BE CUT OFF CLEARLY INSIDE THE EXPOSED OR DAMAGED AREA AND TOPSOIL BE PLACED OVER THE ROOTS IMMEDIATELY. FEEDER ROOTS SHALL NOT BE CUT IN AN AREA INSIDE DRIP LINE OF THE TREE BRANCHES.
 7. ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 8. STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
 9. INSPECT FENCE ON WEEKLY BASIS AND REPAIR DAMAGE IMMEDIATELY.

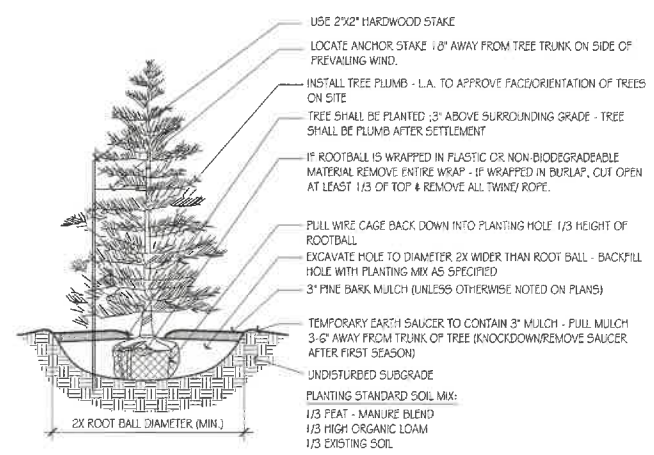
1 Tree Protection

Scale: N.T.S.



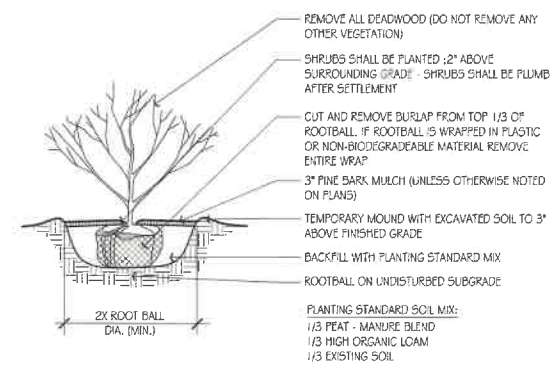
2 Deciduous Tree Planting

Scale: N.T.S.



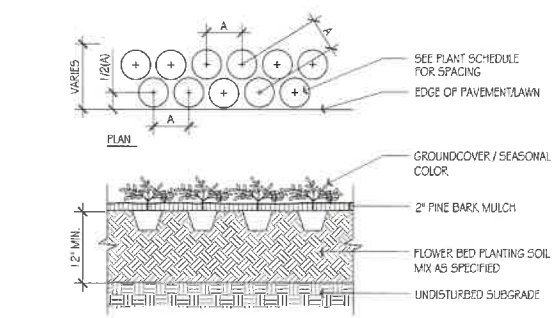
3 Coniferous Tree Planting

Scale: N.T.S.



4 Shrub Planting

Scale: N.T.S.



5 Perennial, Groundcover & Seasonal Color Planting

Scale: N.T.S.

SCHEDULE OF TOPSOILS & ADDITIVES

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	12"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOO & SEED	6"	6" SCREENED LOAM
PITS/TREE WELLS *STANDARD MIX FOR BACKFILL	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL



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Date: 2/27/24

- Revisions:
- | Num | Date | Description |
|-----|----------|---|
| 3 | 5/8/24 | Revised lighting specification to match residential parcels |
| 4 | 5/15/24 | Town submission |
| 5 | 6/12/24 | Add deciduous trees along South Main Street |
| 6 | 7/9/24 | Update building footprint & add planting at north end of building |
| 7 | 10/2/25 | Update site plan and planting |
| 8 | 3/12/25 | Privacy fence |
| 9 | 11/18/25 | Town Submission |

Middleton Corner
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Villabridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

Planting Details

Scale: As Noted

Sheet: **LD2**

Consultant:

Revision:

1 - July 16, 2024
2 - January 28, 2025
3 - November 18, 2025

Architect of Record:



Drawn: J.Z.

Checked: E.B.

Scale: 1/8" = 1'-0"

Key Plan:

Project Name:

Middleton Corner

Middleton, MA

Sheet Name:

NORTH & SOUTH RETAIL
FLOOR PLANS
PHASE I & II

Project Number:

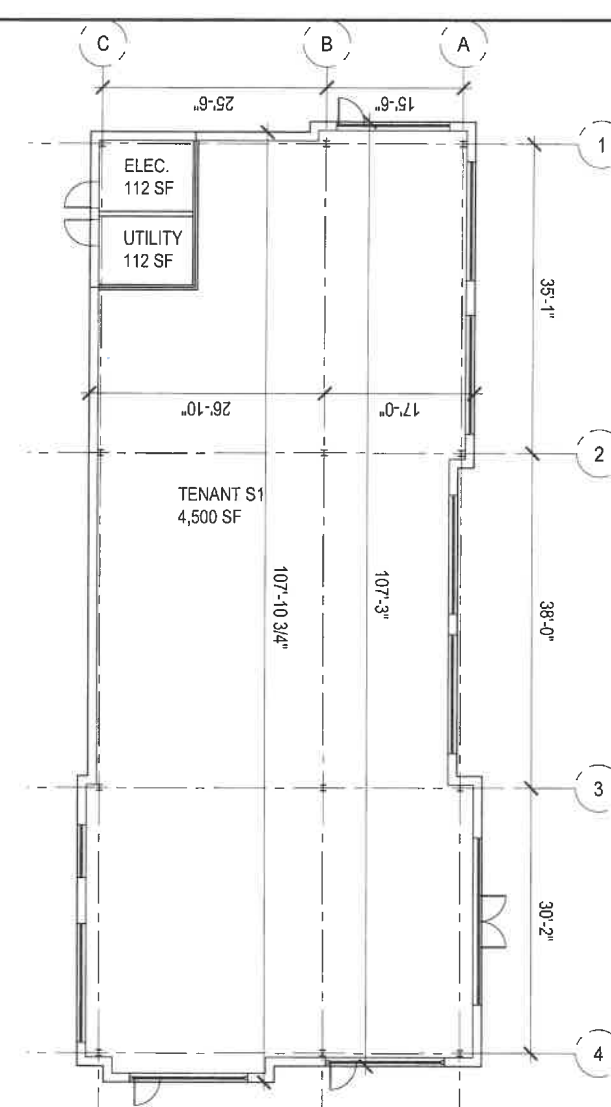
24018

Issue Date:

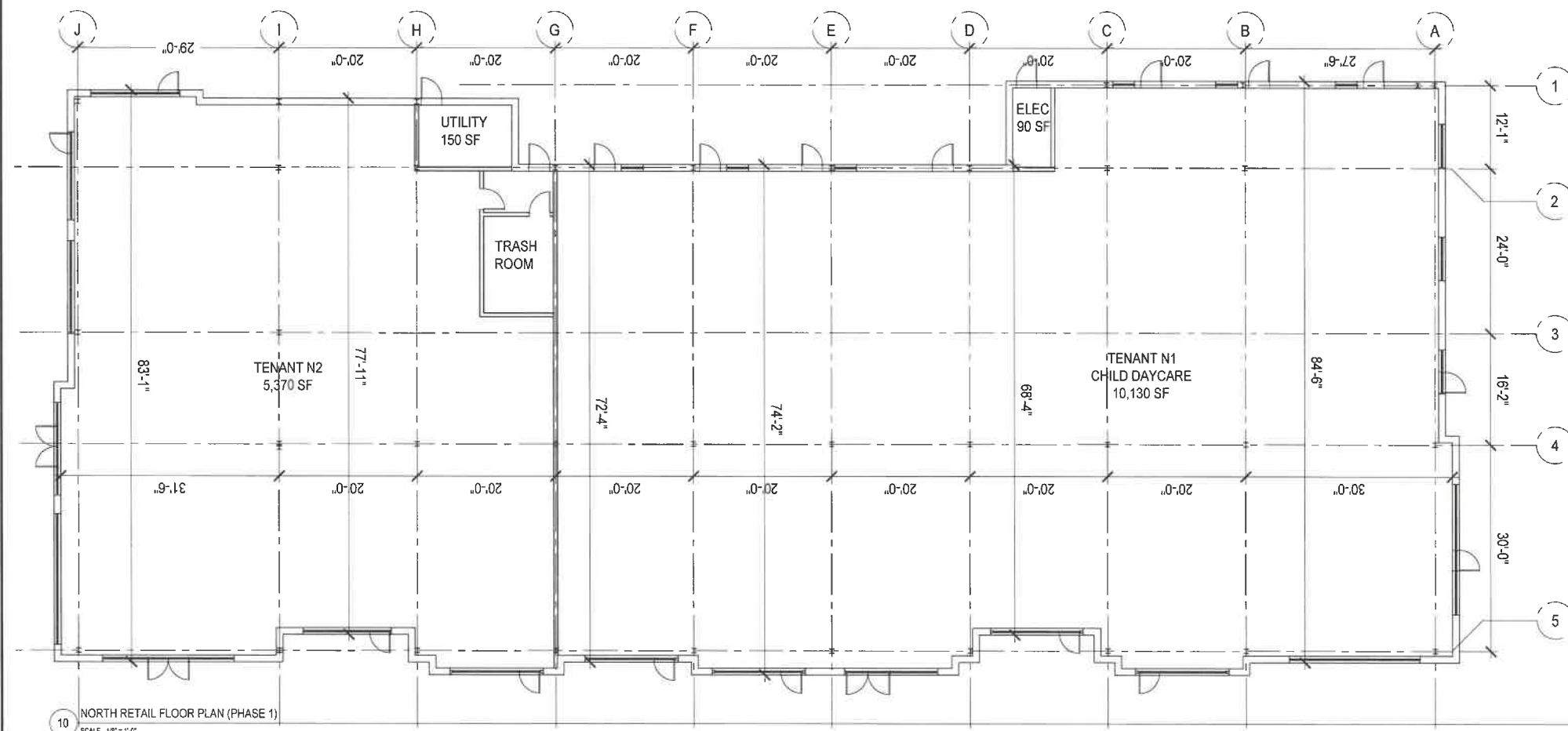
February 27, 2024

Sheet Number:

A1.01



11 SOUTH RETAIL FLOOR PLAN (PHASE 2)
SCALE 1/8" = 1'-0"



10 NORTH RETAIL FLOOR PLAN (PHASE 1)
SCALE 1/8" = 1'-0"

MATERIAL KEY:

EL01	FIBER CEMENT BOARD & BATTEN SIDING
EL02	FIBER CEMENT VERTICAL SIDING
EL03	FIBER CEMENT HORIZONTAL SIDING
EL04	ASPHALT SHINGLE ROOFING
EL05	ALUMINUM STOREFRONT
EL06	FABRIC OR ASPHALT SHINGLE CANOPY
EL07	PAINTED CMU
EL08	STEEL POST
EL09	TONGUE & GROOVE SOLID COMPOSITE PANELS WITH ALUM. FRAMING
EL10	METAL DOOR

tat

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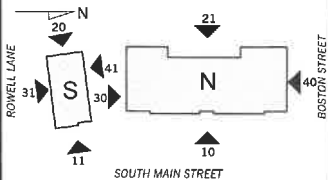


Drawn: J.Z

Checked: E.B.

Scale: AS NOTED

Key Plan:



Project Name:

Middleton Corner

Middleton, MA

Sheet Name:

PHASE I & II
EXTERIOR ELEVATIONS

Project Number:

24018

Issue Date:

February 27, 2024

Sheet Number:

A4.01



41 NORTH ELEVATION - SOUTH RETAIL - PHASE II
SCALE 3/32" = 1'-0"



40 NORTH ELEVATION (BOSTON STREET) - NORTH RETAIL - PHASE I
SCALE 3/32" = 1'-0"



31 SOUTH ELEVATION (ROWELL LANE) - SOUTH RETAIL - PHASE II
SCALE 3/32" = 1'-0"



30 SOUTH ELEVATION - NORTH RETAIL - PHASE I
SCALE 3/32" = 1'-0"



21 WEST ELEVATION - NORTH RETAIL - PHASE I
SCALE 3/32" = 1'-0"

20 WEST ELEVATION - SOUTH RETAIL - PHASE II
SCALE 3/32" = 1'-0"



11 EAST ELEVATION (SOUTH MAIN STREET) - SOUTH RETAIL - PHASE II
SCALE 3/32" = 1'-0"

10 EAST ELEVATION (SOUTH MAIN STREET) - NORTH RETAIL - PHASE I
SCALE 3/32" = 1'-0"

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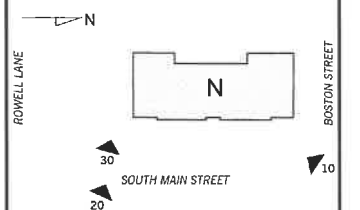


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Checked: E.B.

Scale: NOT TO SCALE

Key Plan:



Project Name:

Middleton Corner

Middleton, MA

Sheet Name:

PHASE I
ILLUSTRATIVE IMAGES

Project Number:

24018

Issue Date:

February 27, 2024

Sheet Number:

A4.02.1



30 VIEW FROM SOUTH MAIN STREET
SCALE: NOT TO SCALE



20 VIEW FROM SOUTH MAIN STREET
SCALE: NOT TO SCALE



10 VIEW FROM BOSTON & SOUTH MAIN STREET
SCALE: NOT TO SCALE



30 VIEW FROM SOUTH MAIN STREET
SCALE: NOT TO SCALE



20 VIEW FROM SOUTH MAIN STREET
SCALE: NOT TO SCALE



10 VIEW FROM BOSTON & SOUTH MAIN STREET
SCALE: NOT TO SCALE

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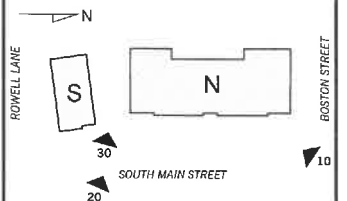


Drawn: J.Z.

Checked: E.B.

Scale: NOT TO SCALE

Key Plan:



Project Name:

Middleton Corner

Middleton, MA

Sheet Name:

PHASE II
ILLUSTRATIVE IMAGES

Project Number:

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