

MIDDLETON CORNER

49 SOUTH MAIN STREET
MIDDLETON, MA

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Consultant:

Revision:

1 - July 16, 2024

2 - January 28, 2025

3 - November 18, 2025

Architect of Record:



Edward R. Bradford

Drawn: J.Z.

Checked: E.B.

Scale: NOT TO SCALE

Key Plan:

Project Name:
Middleton Corner

Middleton, MA

Sheet Name:

PROJECT COVER

Project Number:

24018

Issue Date:

February 27, 2024

Sheet Number:

T0.01



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Middleton, MA

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PHASE I & II
DRAWINGS INDEX,
PROJECT INFORMATION

Project Number:

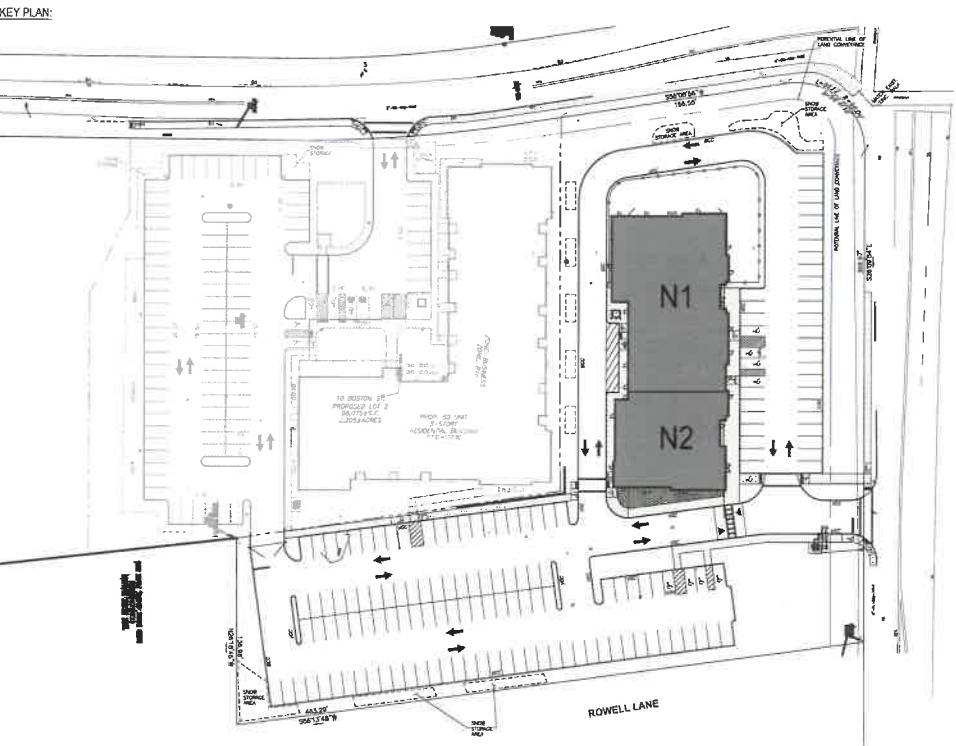
24018

Issue Date:

February 27, 2024

Sheet Number:

T0.02



BUILDING FLOOR AREA AND HEIGHT SUMMARY - PHASE I:

Commercial Gross Leasable Area			
Building	N1	N2	Total GSF
North Retail	10,130	5,370	15,500
TOTAL	10,130	5,370	15,500

NORTH BUILDING

HEIGHT (Feet)¹ 28
HEIGHT (Stories)² 1
BUILDING FOOTPRINT (SF) 15,500

Notes:

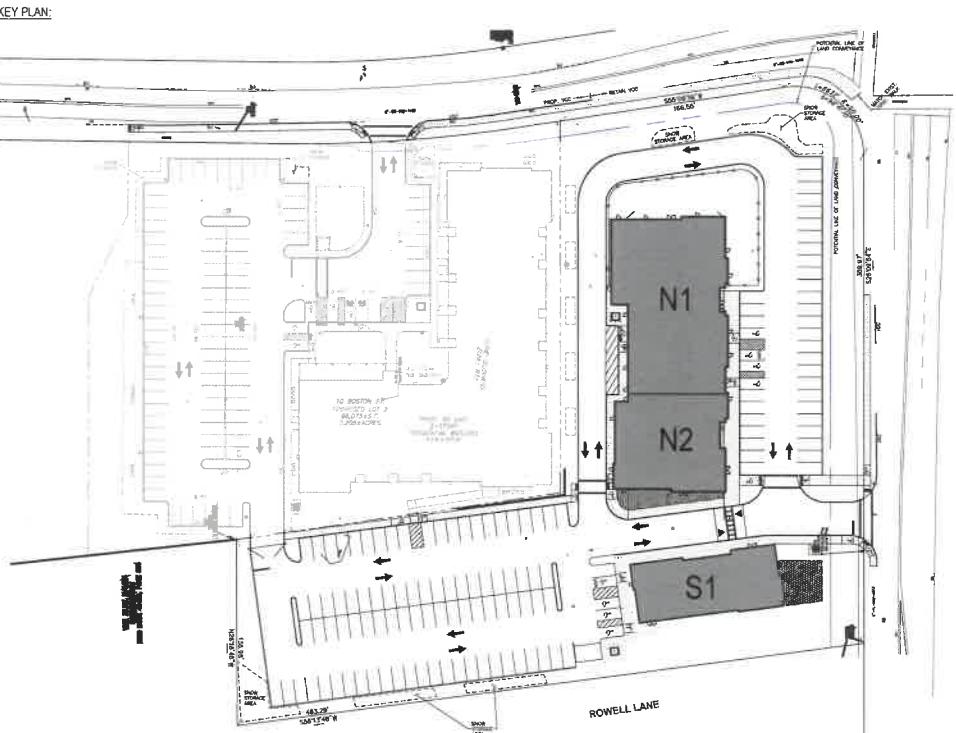
1. Building Height: pursuant to the Zoning Bylaws of the Town of Middleton, Massachusetts, Building Height shall be measured as the vertical distance from the average elevation of the finished lot grade adjoining such building to the highest point of the roof in the case of a flat roof, and to the mean height between the plate and the ridge in the case of a pitched roof.

2. Story: pursuant to the Zoning Bylaws of the Town of Middleton, Massachusetts, each story of a building shall be deemed to be the portion of a building between the upper surface of any floor and the upper surface of the floor next above. A basement having more than 1/2 of its height above the average elevation of the finished grade adjoining the building shall be considered to be a story for the purposes of this definition. Any part of a building between the top floor and the roof shall be deemed a half story.

3. Commercial Gross Leasable Area is measured from the centerline of partitions that separate adjacent occupants, from the exterior surface of exterior walls, exterior surface of the glass at exterior storefronts, from the lease line at common areas, and includes the full thickness of all other enclosing walls. No deduction is made for columns, any structural elements or occupant voids within the gross leasable area.

DRAWING INDEX:

DWG #	DRAWING TITLE	DRAWING DATES	
		January 27, 2024	January 28, 2025
TITLE SHEETS			
TD 01	PROJECT COVER		
TD 02	DRAWING INDEX, PROJECT INFORMATION & ARCHITECTURAL SITE PLAN		
SURVEY			
SHEET 1 OF 3	EXISTING CONDITIONS PLAN OF LAND		
SHEET 2 OF 3	EXISTING CONDITIONS PLAN OF LAND		
SHEET 3 OF 3	EXISTING CONDITIONS PLAN OF LAND		
CIVIL DRAWINGS			
C 1	COVER SHEET		
C 2	LOCATE PLAN		
C 3	LAYOUT & MATERIALS PLAN		
C 3.1	LAYOUT & MATERIALS PLAN - PHASE I		
C 3.2	LAYOUT & MATERIALS PLAN - PHASE II		
C 4	GRADING & DRAINAGE PLAN		
C 5	UTILITY PLAN		
C 6	PARKING MARKING & SIGNAGE PLAN		
C 7	SITE PREP & DEMOLITION PLAN		
C 8	IMPERVIOUS SURFACE AREA COMPARISON		
C 9	DETAILS - 1		
C 10	DETAILS - 2		
C 11	DETAILS - 3		
LANDSCAPE DRAWINGS			
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L 1.1	PLANTING PLAN		
L 1.1.1	PLANTING PLAN - PHASE I		
L 1.1.2	PLANTING PLAN - PHASE II		
L 2	LIGHTING PLAN		
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L 2.2	LIGHTING PLAN - PHASE II		
L 2.3	LIGHTING SPECIFICATIONS		
L 3	PLANTING SPECIFICATIONS		
L 4	PLANTING DETAILS		
ARCHITECTURAL DRAWINGS			
A 1.0	NORTH & SOUTH RETAIL FLOOR PLANS - PHASE I & II		
A 1.1	EXISTING CONDITIONS - PHASE I & II		
A 1.2	ILLUSTRATIVE IMAGES		
A 2.0	ILLUSTRATIVE IMAGES - PHASE I		
A 2.2	ILLUSTRATIVE IMAGES - PHASE II		
A 3.0	GATE PHOTOGRAPHIC		



BUILDING FLOOR AREA AND HEIGHT SUMMARY - PHASE II:

Commercial Gross Leasable Area				
Building	N1	N2	S1	Total GSF
North Retail	10,130	5,370	0	15,500
South Retail	0	0	4,500	4,500
TOTAL	10,130	5,370	4,500	20,000

NORTH BUILDING

HEIGHT (Feet)¹ 28
HEIGHT (Stories)² 1
BUILDING FOOTPRINT (SF) 15,500

SOUTH BUILDING

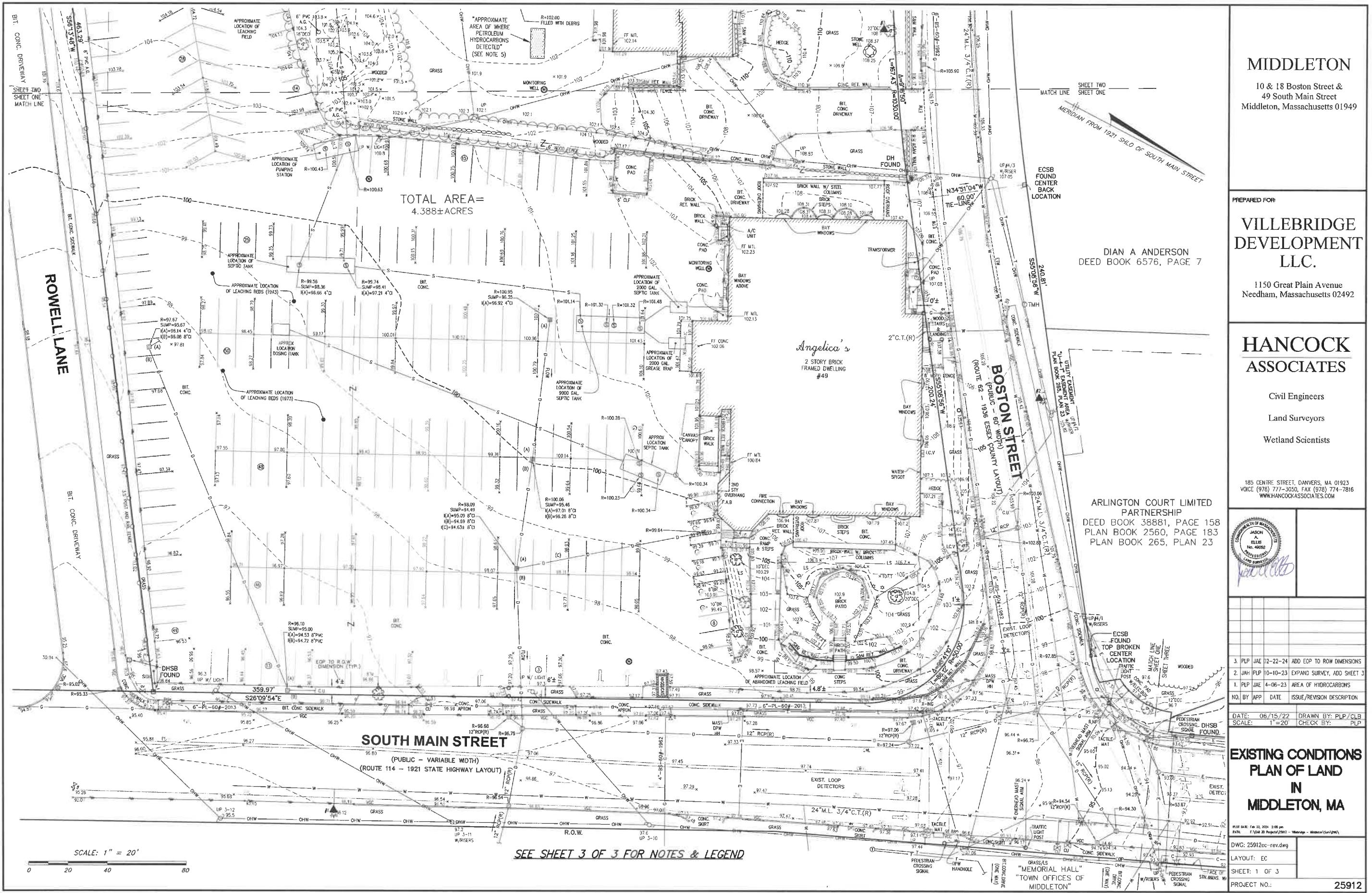
HEIGHT (Feet)¹ 28
HEIGHT (Stories)² 1
BUILDING FOOTPRINT (SF) 4,500

Notes:

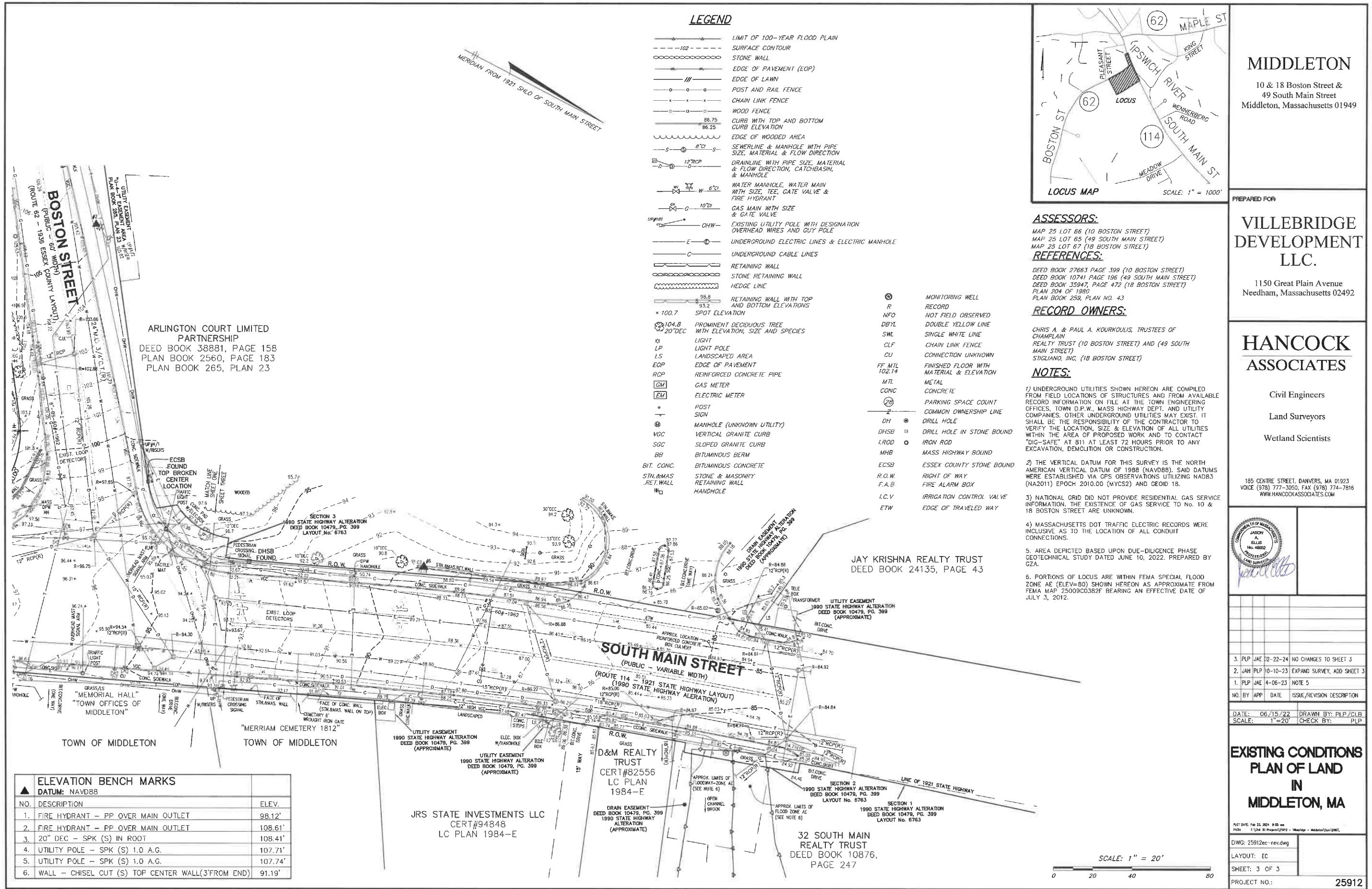
1. Building Height: pursuant to the Zoning Bylaws of the Town of Middleton, Massachusetts, Building Height shall be measured as the vertical distance from the average elevation of the finished lot grade adjoining such building to the highest point of the roof in the case of a flat roof, and to the mean height between the plate and the ridge in the case of a pitched roof.

2. Story: pursuant to the Zoning Bylaws of the Town of Middleton, Massachusetts, each story of a building shall be deemed to be the portion of a building between the upper surface of any floor and the upper surface of the floor next above. A basement having more than 1/2 of its height above the average elevation of the finished grade adjoining the building shall be considered to be a story for the purposes of this definition. Any part of a building between the top floor and the roof shall be deemed a half story.

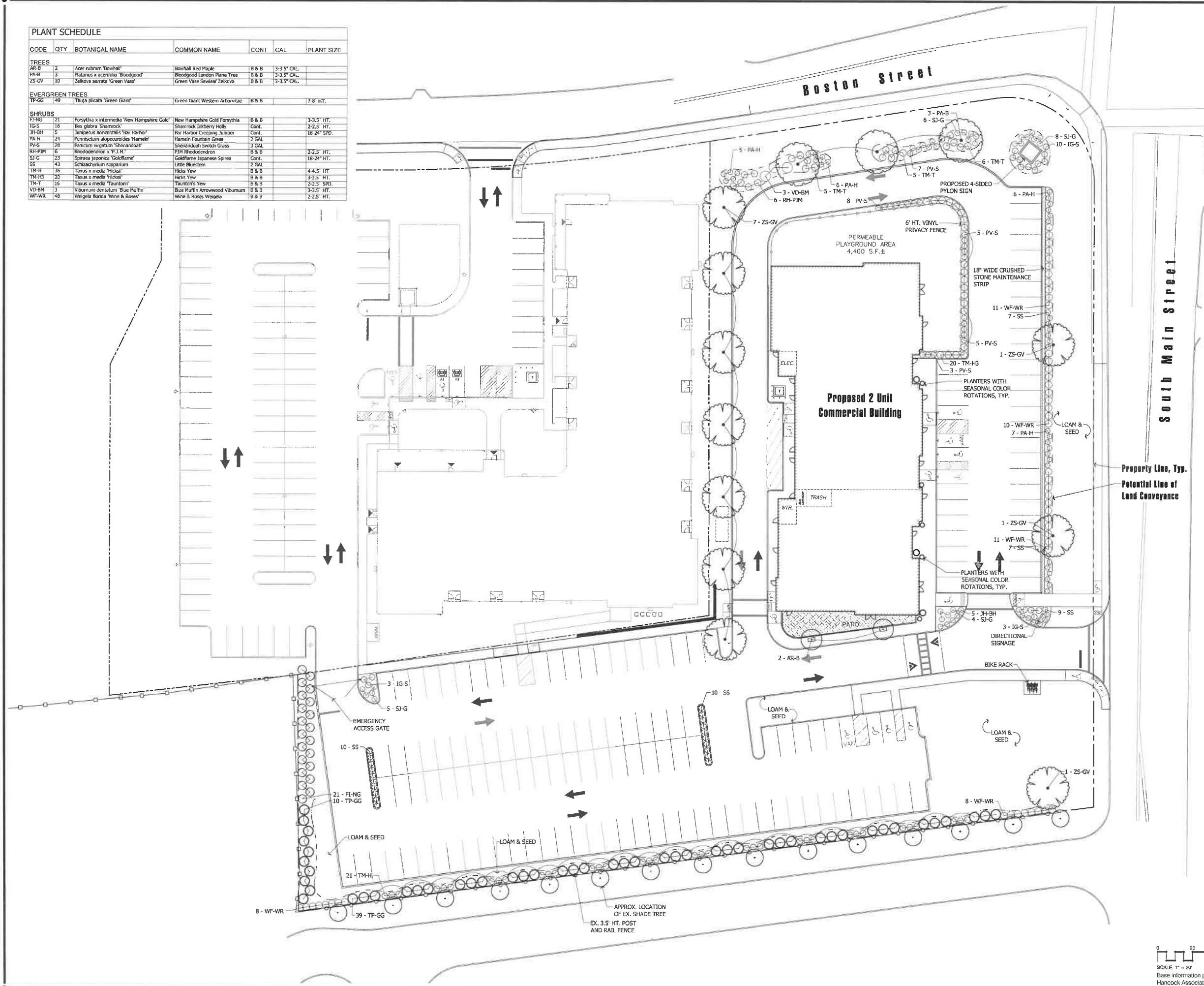
3. Commercial Gross Leasable Area is measured from the centerline of partitions that separate adjacent occupants, from the exterior surface of exterior walls, exterior surface of the glass at exterior storefronts, from the lease line at common areas, and includes the full thickness of all other enclosing walls. No deduction is made for columns, any structural elements or occupant voids within the gross leasable area. Common utility rooms are not included in the gross leasable area.







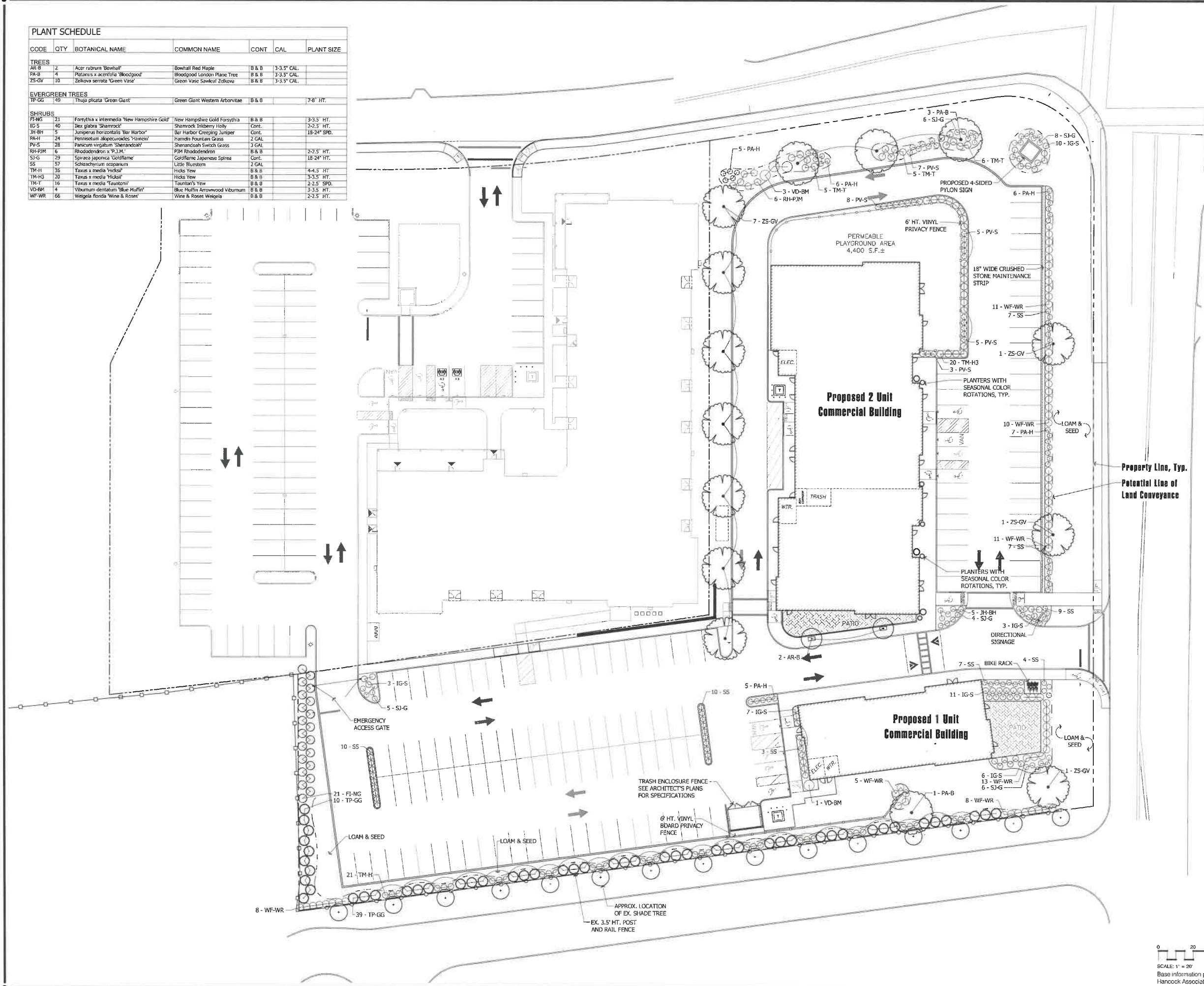
PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANT SIZE
TREES						
AR-B	2	<i>Acer rubrum "Bowhall"</i>	Bowhall Red Maple	B & B	3-3.5' CAL.	
PA-B	3	<i>Platanus x sycnfolia "Bloodgood"</i>	Bloodgood London Plane Tree	B & B	3-3.5' CAL.	
ZS-GV	10	<i>Zelkova serrata "Green Vase"</i>	Green Vase Sawleaf Zelkova	B & B	3-3.5' CAL.	
EVERGREEN TREES						
TP-GG	49	<i>Thuya plicata "Green Giant"</i>	Green Giant Western Arborvitae	B & B		7'-8' HT.
SHRUBS						
FI-NG	21	<i>Forsythia x intermedia "New Hampshire Gold"</i>	New Hampshire Gold Forsythia	B & B		3-3.5' HT.
1G-S	16	<i>Buxus glabra "Shamrock"</i>	Shamrock Inkberry Holly	Cont.		2-2.5' HT.
JH-BH	5	<i>Juniperus horizontalis "Bar Harbor"</i>	Bar Harbor Creeping Juniper	Cont.		18"-24" 5FD.
PA-H	24	<i>Pennisetum alopecuroides "Hameln"</i>	Hameln Fountain Grass	2 GAL		
PV-S	28	<i>Paracium virginatum "Shenandoah"</i>	Shenandoah Switch Grass	3 GAL		
RH-PJM	6	<i>Rhododendron x "P.J.M."</i>	PJM Rhododendron	B & B		2-2.5' HT.
SI-G	23	<i>Spiraea japonica "Goldflame"</i>	Goldflame Japanese Spirea	Cont.		18"-24" HT.
SS	43	<i>Schizachyrium scoparium</i>	Little Bluestem	2 GAL		
TM-H	38	<i>Taxus x media "Hicksii"</i>	Hicks Yew	B & B		4-4.5' HT.
TM-HB	20	<i>Taxus x media "Hicksii"</i>	Hicks Yew	B & B		3-3.5' HT.
TM-T	16	<i>Taxus x media "Tantonii"</i>	Taunton's Yew	B & B		2-2.5' SP.
VD-BM	3	<i>Viburnum dentatum "Blue Muffin"</i>	Blue Muffin Arrowwood Viburnum	B & B		3-3.5' HT.
WF-WR	48	<i>Weigela florida "Wine & Roses"</i>	Wine & Rose Weigela	B & B		2-2.5' HT.



Middleton Corner - Phase 1
8 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Villbridge Development LLC of Needham, MA

Planting Plan

Plant Schedule						
Code	Qty	Botanical Name	Common Name	Cont	Cal	Plant Size
TREES						
AR-8	2	<i>Acer rubrum 'Bowhall'</i>	Bowhall Red Maple	B & B	3-3.5" CAL.	
PA-8	4	<i>Platanus x acerifolia 'Bloodgood'</i>	Bloodgood London Plane Tree	B & B	3-3.5" CAL.	
ZS-GV	10	<i>Zelkova serrata 'Green Vase'</i>	Green Vase Sycamore	B & B	3-3.5" CAL.	
EVERGREEN TREES						
TP-GG	49	<i>Thuya plicata 'Green Giant'</i>	Green Giant Western Arborvitae	B & B		7'-8' HT.
SHRUBS						
FL-NK	21	<i>Forsythia x intermedia 'New Hampshire Gold'</i>	New Hampshire Gold Forsythia	B & B		3-3.5' HT.
IG-5	40	<i>Ilex glabra 'Shamrock'</i>	Shamrock Holly	Cont.		2-2.5' HT.
JH-BH	5	<i>Juniperus horizontalis 'Bar Harbor'</i>	Bar Harbor Creeping Juniper	Cont.		18"-24" SPD.
PA-HH	24	<i>Pennisetum alopecuroides 'Hameln'</i>	Hameln Fountain Grass	2 GAL		
PV-SW	28	<i>Panicum virgatum 'Shenandoah'</i>	Shenandoah Switch Grass	3 GAL		
RH-PJM	6	<i>Rhododendron x 'PJM'</i>	PJM Rhododendron	B & B		
SJ-G	29	<i>Spiraea japonica 'Goldflame'</i>	Goldflame Japanese Spirea	Cont.		2-2.5' HT.
SS	57	<i>Schizachyrium scoparium</i>	Little Bluestem	2 GAL		18"-24" HT.
TM-H	36	<i>Taxus x media 'Hicksii'</i>	Hicks Yew	B & B		4-4.5' HT.
TM-HS	20	<i>Taxus x media 'Hicksii'</i>	Hicks Yew	B & B		3-3.5' HT.
TM-T	16	<i>Taxus x media 'Tauronii'</i>	Taunton's Yew	B & B		2-2.5 SPD.
VD-BM	4	<i>Viburnum dentatum 'Blue Muffin'</i>	Blue Muffin Arrowwood Viburnum	B & B		3-3.5' HT.
WF-WR	66	<i>Wine & Roses</i>	Wine & Roses Weigela	B & B		2-2.5 HT.



Middleton Corner - Phase 2

18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Wrenridge Development LLC of Necham, MA

Sheet: L1.1.2

Drawn By: RNI

Planting Plan

Scale: 1" = 20'-0"

Sheet 1112

LINE

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Date: 2/27/24

Revisions:		
Num	Date	Description
3	5/9/24	Review lighting specification to match residential parcel
4	5/19/24	Town submission
5	5/19/24	Add deciduous trees along South Main Street
6	7/9/24	Update building footprint & add parking at north end of building.
7	1/28/25	Update site plan and planning
8	3/7/25	Privacy fence
9	4/18/25	Town Submission

Symbol	Tag	Qty	Description	Arrangement	LLF	Luminaire	Lumens	Watts
◆	B3HS	5	ARIA LG 150W-3K-TYPE III HSS	Single	0.960	9668	169.2	
◆	BHS	7	ARIA LG 150W-3K-TYPE IV HSS	Single	0.960	11378	165.8	
◆	B	2	ARIA LG 150W-3K-TYPE V	Single	0.960	17113	165.2	
◆	C	10	COACH 18 100W-3K-TYPE IV CLEAR ACRYLIC	Single	0.960	7376	114.5	

NOTE:
ALL LIGHT POLES TO BE 15' HEIGHT. SEE LIGHTING SPECIFICATION
SHEET FOR POLE SPECIFICATIONS

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Date: 2/27/24

Revisions:
Num Date Description
3 5/6/24 Revise lighting specification
to match residential parcel
4 5/16/24 Town submission
5 6/1/24 Add deciduous trees along
South Main Street
6 7/9/24 Update building footprint &
add planting at north end of
building
7 12/25 Update site plan and planting
8 3/7/25 Privacy fence
9 11/1/25 Town Submission

Middleton Corner - Phase 1
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Villeridge Development LLC of Needham, MA

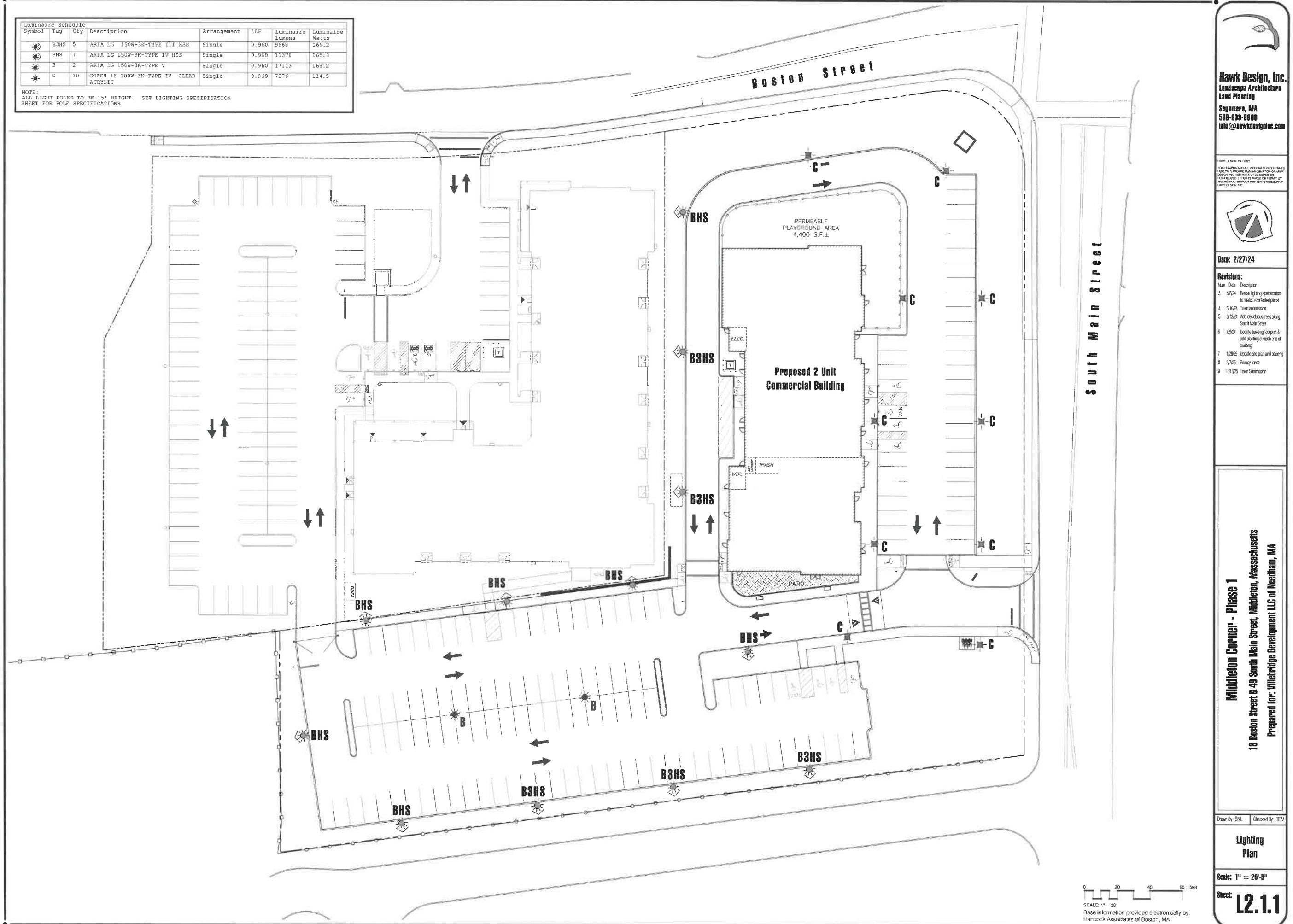
Drawn By: BNL Checked By: TEM

**Lighting
Plan**

Scale: 1" = 20'-0"

Sheet: L2.1.1

0 20 40 60 feet
SCALE: 1" = 20'
Base information provided electronically by:
Hancock Associates of Boston, MA



Luminaire Schedule			
Symbol	Tag	Qty	Description
◆	B3HS	4	ARIA LG 150W-3K-TYPE III HSS
◆	BHS	7	ARIA LG 150W-3K-TYPE IV HSS
◆	B	3	ARIA LG 150W-3K-TYPE V
◆	C	10	COACH 18 100W-3K-TYPE IV CLEAR ACRYLIC

NOTE:
ALL LIGHT POLES TO BE 15' HEIGHT. SEE LIGHTING SPECIFICATION
SHEET FOR POLE SPECIFICATIONS

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Date: 2/27/24

Revisions:

Num	Date	Description
3	5/19/24	Revise lighting specification to match residential parcel
4	5/19/24	Town submission
5	5/19/24	Add deciduous trees along South Main Street
6	7/19/24	Update building footprint & adding portico at north end of building
7	1/2/25	Update site plan and planning
8	3/7/25	Permit issuance
9	11/19/25	Town Submission

Middleton Corner - Phase 2
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Villairidge Development LLC of Needham, MA

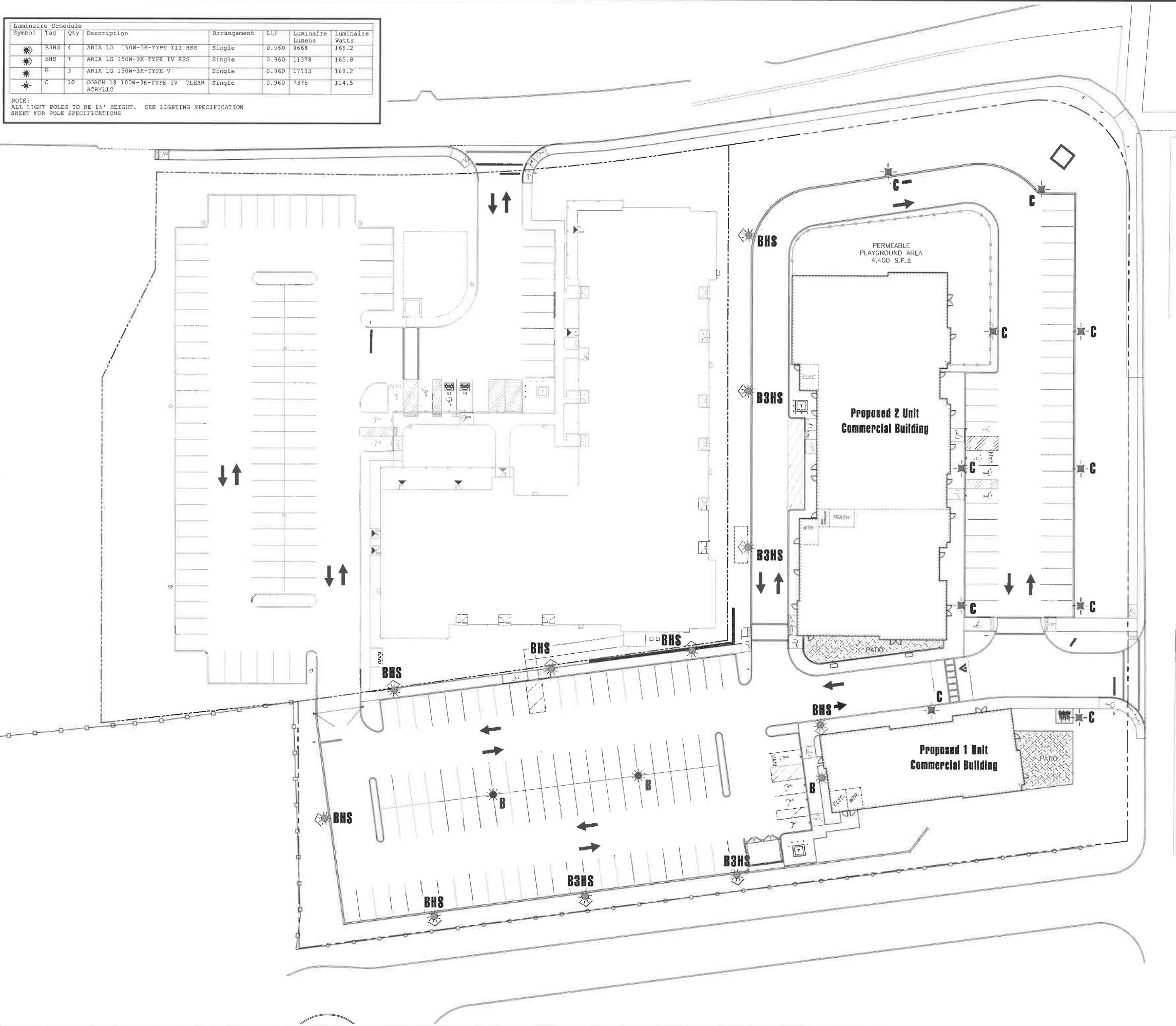
Drawn By: BNL Checked By: TEM

**Lighting
Plan**

Scale: 1" = 20'-0"

Sheet:

L2.1.2





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Date: 2/27/24

General Landscape Notes:

CONTRACTOR REQUIREMENTS
ALL WORK SHALL COMPLY WITH APPLICABLE
LOCAL AUTHORITIES

THE CONTRACTOR SHALL ARRANGE FOR AND OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR THE COMPLETE WORK SPECIFIED HEREIN AND SHOWN ON ALL THE DRAWINGS. THE CONTRACTOR SHALL PAY FOR ANY FEES NOT WAIVED.

UTILITIES:
LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE RELEVANT UTILITY COMPANIES PRIOR TO DOING ANY EXCAVATION ON THE SITE. IF ANY WORK IS TO BE DONE AROUND UNDERGROUND UTILITIES, THE APPROPRIATE AUTHORITY OF THAT UTILITY MUST BE NOTIFIED OF THE IMPENDING WORK.

UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY INSTALLATION. ADJUSTMENTS MAY BE NECESSARY IN THE FIELD TO ACCOMMODATE UTILITY LOCATIONS. REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES DONE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS WORK COMPLETED BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINS, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

QUANTITIES: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES, AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANT IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLANT SHALL GOVERN. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF UNLABELED PLANTS IN PLANT FOR CLARIFICATION. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION.

APPLICABLE PLANT MATERIALS STANDARDS: ALL PLANT MATERIALS ARE TO COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANTING METHODS WILL BE IN ACCORDANCE WITH SITE-SPECIFIC REQUIREMENTS.

PLANT HARDINESS: ALL TREES AND SHRUBS SHALL BE NURSERY GROWN WITHIN A USDA PLANT HARDINESS ZONE, WHICH IS THE SAME AS, OR COLDER THAN, THE ZONE IN WHICH THE PROJECT IS LOCATED.

PLANTING SEASONS: PLANTING SHALL ONLY OCCUR DURING SPECIFIED SEASONS. SPRING SEASON SHALL BE FROM MARCH 1 - TO JUNE 15; FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 - THROUGH NOVEMBER 15. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.

PLANT SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASON FOR THE SUBSTITUTION REQUEST. THE SUGGESTED ALTERNATIVE AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIALS SHALL STATE THE NAMES OF NURSERIES THAT HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY-SPECIFIED MATERIAL.

THE LANDSCAPE ARCHITECT SHALL RESERVE THE RIGHT TO INSPECT ALL PLANT MATERIALS AT THE NURSERY, UPON SITE DELIVERY AND DURING INSTALLATION TO INSURE SPECIFICATIONS AND PROCEDURES ARE ADHERED TO.

1) MINIMUM SIZES: ALL PLANTS 3' OR GREATER IN HEIGHT OR SPREAD SHALL BE BALLED AND BURRAPPED. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUMS ON WHICH THE PLANTS ARE TO BE JUDGED.

2) DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY, AND REPLACED WITH THE SAME PLANT & SIZE REGARDLESS OF SEASON, WEEKLY FROM THE JOB BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN AN UPDATED COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.

3) PLANT MATERIAL REMOVAL: NO EXISTING TREES SHALL BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT EXCEPT WHERE NOTED ON THE PLANS. CONTRACTORS WHO REMOVE EXISTING TREES WITHOUT WRITTEN APPROVAL WILL BE REQUIRED TO MAKE REMEDIES DETERMINED BY THE GOVERNING URBAN FORESTER OR EQUIVALENT AUTHORITY. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON THE PLANS.

4) ALL DISTURBED AREAS NOT TO RECEIVE PLANT MATERIALS ARE TO BE LOAMED AND SEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS. SEE SECTION 4.0.

5) LEDGE BOULDERS: IF DURING SITE EXCAVATION, LEDGE BOULDERS ARE AVAILABLE, THESE ARE TO BE STOCKPILED FOR USE IN EARTH BANKS IF APPROPRIATE, WITH HAWK DESIGN, INC. PRIOR TO INSTALLATION. THIS ITEM WILL ONLY APPLY IF SO SPECIFIED ON DRAWINGS. BOULDERS SIZES TO BE STOCKPILED WILL RANGE FROM TWO TO FIVE FEET IN DIAMETER. SEE APPROPRIATE DETAIL FOR INSTALLATION COORDINATION.

6) SLEEVES: LANDSCAPE OR SITE CONTRACTOR SHALL PLACE INDIVIDUAL SLEEVES FOR LIGHTING AND IRRIGATION UNDER ANY PROPOSED WALKWAY OR VEHICULAR ROADWAY PRIOR TO INSTALLATION. COORDINATE SLEEVE LOCATIONS WITH IRRIGATION AND LIGHTING CONTRACTORS PRIOR TO INSTALLATION.

7) DO NOT CLOSE OR OBSTRUCT ANY STREET, SIDEWALK, ALLEY OR PASSAGEWAY WITHOUT PRIOR NOTIFICATION AND PERMISSION. CONDUCT OPERATIONS AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE USE ORDINARILY MADE OF ROADS, DRIVEWAYS, ALLEYS, SIDEWALKS OR OTHER FACILITIES NEAR ENOUGH TO THE WORK TO BE EFFECTED THEREBY.

Materials:

PLANTING MATERIAL ITEMS IN SECTION 2.0 ARE TO BE INCORPORATED DURING PLANT INSTALLATION UNLESS OTHERWISE DEEMED UNNECESSARY IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. SEE SECTION 10.

MULCH WILL BE 12" SHREDDED PINE BARK MULCH AND SHRUBS SHALL RECEIVE AN EVEN 3" MULCH LAYER. GROUND COVERS, PERENNIALS AND ANNUALS SHALL RECEIVE AN EVEN 2" MULCH LAYER.

TO BE WELL ROTTED, ODORLESS, UNLEACHED COW MANURE, CONTAINING NOT MORE THAN 15% MATERIALS SUCH AS STRAW, WOOD CHIPS OR SHAVINGS, AGED NOT LESS THAN TWO YEARS OLD.

DE A PRE-EMERGENCE WEED KILLER IS TO BE USED ON ALL LAWN AND PLANTING AREAS PRIOR TO SOWING SEED OR PLANTING. HERBICIDES ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.

ALL TREES AND SHRUBS TO HAVE SLOW RELEASE PACKET OR PELLET PLACED INTO THE PLANT PIT. MINIMUM ANALYSIS OF 10-10-10. AL GROUND COVERS, PERENNIALS AND ANNUALS ARE TO RECEIVE A LAST APPLICATION OF A 14-14-14 FERTILIZER AT 3 LB PR/100 SQ. FT. APPLY AS PER MANUFACTURERS DIRECTIONS. FERTILIZERS ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.

ACCEPTABLE TOPSOIL SHALL BE FERTILE, FRAGILE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF ROCKS, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER EXTRANEUS MATTER, COVER ONE INCH IN DEPTH. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC MATTER. IN SITUATIONS WHICH REQUIRE A CUSTOM TOPSOIL OR STRUCTURAL SOIL, THE SOIL MIXTURE COMPOSITION WILL BE PROVIDED BY THE LANDSCAPE ARCHITECT.

ENDNOTES: APPLY AS NECESSARY ACCORDING TO SOIL TEST RESULTS, AS PER MANUFACTURERS DIRECTIONS.

RECCANT - WLT PRUE NCF OR EQUAL APPLY AS PER MANUFACTURERS SPECIFICATIONS.

Installation:

TESTING: LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS PRIOR TO ANY PLANT ALLOCATION TO DETERMINE ANY NECESSARY AMENDMENTS TO THE EXISTING SOIL CONDITIONS FOR SOD AND PLANTING. THE ANALYSIS WILL ALSO BE REQUIRED FOR ESTABLISHING THE FERTILIZER PROGRAM. COORDINATE RESULTS AND PROVIDE WRITTEN RECOMMENDATIONS TO HAWK DESIGN, 15 DAYS PRIOR TO INSTALLATION.

PLANTS SHALL BE TRANSPORTED TO THE SITE IN COVERED TRUCKS, TARPAULIN COVERS SHALL BE USED TO PREVENT WIND DAMAGE OR LOAD.

IVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS MOIST. DO NOT RE-PLANT MATERIAL ON PAVED AREAS. ROOTS OR BALLS SHALL BE PROTECTED FROM THE SUN OR WINDS. AS REQUIRED BY TEMPERATURE OR WIND CONDITIONS, APPLY ANTI-DESICCANT EMULSION TO PREVENT DRYING OUT OF PLANT MATERIALS.

CONDITIONS FOR PLANT REJECTION:
1. PLANTS WHEN BALL OF EARTH SURROUNDING ROOTS HAS BEEN CRACKED OR BROKEN PREPARATORY OR DURING THE PROCESS OF PLANTING.

BURLAP, STAVES AND ROPES REQUIRED IN CONNECTION WITH TRANSPLANTING HAVE BEEN DISPLACED OR TO ACCEPTANCE.

DAMAGED PLANT MATERIAL FROM POOR TARPAULIN COVER PROCEDURES ARE SUBJECT TO REJECTION.

PLANT MATERIAL, WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY, SHALL BE SET ON THE LOAD IN A SHADED LOCATION AND SHALL BE TEMPORARILY PROTECTED WITH SOIL OR OTHER APPROPRIATE MATERIAL. TEMPORARY WATERING OR IRRIGATION SHALL BE INCORPORATED AND REGULARLY MONITORED ON PLANTINGS IN HOLD AREAS.

CLASSE OF CONFLICTS DURING CONSTRUCTION WITH UTILITIES, ROCK MATERIALS, TREE ROOTS OR OTHER CONSTRUCTION CONDITIONS. FOR THE EXCAVATION OF SHRUB BEDS AND TREE PITS, CONTACT LANDSCAPE ARCHITECT APPROVED ALTERNATE LOCATIONS.

PERMANIBILITY: TEST DRAINAGE OF PLANTING BEDS AND PITS BY FILLING WITH WATER TWICE IN CONSECUTIVE CONDITIONS PERMITTING THE RETENTION OF WATER FOR MORE THAN 24 HOURS SHALL BE LEFT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

EXCAVATIONS:
1. EXCAVATE TREE PITS AND SHRUB BEDS TO DEPTHS REQUIRED BY PLANTING DETAILS. ALL PITS SHALL BE REGULAR IN OUTLINE, EXCEPT FOR WHOLE BEDS. SEE APPROPRIATE PLANTING DETAILS.

EXCAVATIONS FOR BALLED & BURLAP AND CONTAINER PLANTINGS MUST BE NO LESS THAN 2X ROOT DIAMETER. SEE PLANTING DETAILS. IF QUESTIONABLE SUBSURFACE SOIL CONDITIONS EXIST SUCH AS DRAINAGE CONDITIONS, RUBBLE OR OBSTRUCTIONS, REPORT TO THE LANDSCAPE ARCHITECT AND CONSTRUCTION MANAGER BEFORE PLANTING.

ADONING:
1. GRADES PRIOR TO PLANTING, THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS LOCATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL CRADING.

PIPE DRAINAGE SHALL BE MAINTAINED AWAY FROM AND AROUND BUILDINGS (REFER TO ENGINEERS DRAINAGE PLANS). REPORT ANY CONFLICTS TO HAWK DESIGN, INC. PRIOR TO INSTALLATION.

THE GRADE OF PLANTINGS SHALL BE EQUIVALENT TO FORMER EXISTING GRADE OF PLANT IN THE NURSERY.

ALL PLANT MATERIALS SHALL BE PLANTED IN THE PLANTING HOLE AND COVERED WITH BURLAP OR BAGGED AND PLANTED (B&B) MATERIALS.

WIRE BASKETS ONCE IN THE PLANT FIT AND PEEL WIRE BACK.

AND TIME ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL.

Plant Installation Cont'd

- 1) CONTAINER GROWN STOCK: SHALL BE REMOVED FROM CONTAINER BY CUTTING CONTAINER AWAY TO AVOID ROOT DAMAGE TO PLANT ROOT SYSTEM. IF PLANT ROOT IS BOUND, SLICE ROOT BALLS APPROXIMATELY 2" DEEP WITH KNIFE OR SHARP SCAPSE.
- 2) DO NOT USE MUDDY OR FROZEN SOIL TO BACKFILL PLANTINGS.
- 3) WATERING: THOROUGHLY WATER UNTIL SOIL IS SATURATED AROUND ALL TREES AND SHRUBS AFTER PLANTING AND THROUGHOUT THE TIME PERIOD UNTIL FINAL ACCEPTANCE FROM CLIENT. DURING DRY CONDITIONS, WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT-FREE CONDITION.
- 4) PRUNING: TREES SHALL BE PRUNED TO BALANCE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR NATURAL CHARACTER AND TYPICAL GROWTH HABIT. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SUGAR GROWTH. ALL CUTS TO BE FLUSH WITH TRUNK. DO NOT CUT A LEADER. THE LANDSCAPE ARCHITECT WILL REJECT ALL PLANTS DISFIGURED BY POOR PRUNING PRACTICES. ALL PRUNING CUTS SHALL REMAIN UNPAINTED.
- 5) STAKING AND GUYING: ALL TREES TO BE STAKED AND GUYED WITHIN 48 HOURS OF PLANTING. METHODS AND MATERIALS FOR STAKING AND GUYING ARE ILLUSTRATED IN INDIVIDUAL PLANTING DETAILS. MEANLY FLAG ALL GUY WIRES WITH ROT RESISTANCE YELLOW TREE MARKING RIBON.
- 6) STAKE OUT PLANT LOCATIONS: PRIOR TO PLANTING THE CONTRACTOR SHALL LAYOUT THE EXTENT OF THE PLANT BEDS AND PROPOSED LOCATIONS FOR BAB PLANTS FOR REVIEW BY THE OWNER AND LANDSCAPE ARCHITECT.
- 7) PLANTING FIELD ADJUSTMENTS:

Maintenanc

- 5.1 MAINTENANCE DURING INSTALLATION: MAINTENANCE OPERATIONS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE AS REQUIRED UNTIL FINAL ACCEPTANCE AND THEN FOR THE 6-MONTH PERIOD. PLANTS SHALL BE KEPT IN A HEALTHY, GROWING CONDITION BY WATERING, PRUNING, SPRAYING, WEEDING AND ANY OTHER NECESSARY OPERATIONS OF MAINTENANCE. PLANT SCAFFOLD AND BEDS SHALL BE KEPT FREE OF WEEDS, GRASS AND OTHER UNDESIRABLE VEGETATION. PLANTS SHALL BE INSPECTED AT LEAST ONCE PER WEEK BY THE CONTRACTOR DURING THIS INSTALLATION PERIOD AND ANY NEEDED MAINTENANCE IS TO BE PERFORMED PROMPTLY.
- 5.2 GRASS AND WEED CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOWING ALL GRASS AROUND LANDSCAPE BEDS AND INDIVIDUAL TREES AND SHRUBS UNTIL FINAL ACCEPTANCE. WEED CONTROL AREAS SHALL INCLUDE ALL LANDSCAPE BEDS AND THE AREA WITHIN 2 FEET OF THE OUTER EDGE OF THE MULCH AREA OR INDIVIDUAL TREES/SHRUBS.
- 5.3 THE CONTRACTOR SHALL WATER, FERTILIZE, WEED, CULTIVATE, REMULCH, SPRAY TO CONTROL INSECT INFESTATION AND DISEASE AND PERFORM ANY OTHER GOOD HORTICULTURAL PRACTICE NECESSARY TO MAINTAIN THE PLANTS IN A LIVING, HEALTHY CONDITION UPON THE TIME FOR TERMINATION OF HIS RESPONSIBILITY FOR CARE AS SET OUT HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTS THROUGHOUT LIFE OF THE CONTRACT.
- 5.4 ALL PLANTS STOLEN, DAMAGED OR DESTROYED BY FIRE, AUTOMOBILES, VANDALISM OR ANY OTHER CAUSE, WITH THE EXCEPTION OF PLANTS DAMAGED OR DESTROYED BY THE OWNERS MAINTENANCE OPERATIONS, SHALL BE REPLACED BY THE OWNER PRIOR TO THE DATE OF FINAL ACCEPTANCE.
- 5.5 LANDSCAPE CONTRACTOR SHALL PREPARE MAINTENANCE SPECIFICATIONS AND SCHEDULE ANNUAL CARE OF ALL PLANTED AND LAWN AREAS INCLUDING FERTILIZING, WEEDING, MULCHING, BED EDGING, PRUNING AND PEST PREVENTION AND TREATMENT.

Plant Material Guarantee:

CONTRACTOR SHALL GUARANTEE IN WRITING ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS FOR A PERIOD OF ONE YEAR. THE GUARANTEE IS TO INCLUDE THE FOLLOWING:

- 6.1) INSPECTIONS: PERFORM PERIODIC INSPECTIONS DURING GUARANTEE PERIOD WITH RESULTING WRITTEN REPORTS TO OWNER, PROJECT ADMINISTRATOR AND LANDSCAPE ARCHITECT STATING CONDITIONS AND RECOMMEND MAINTENANCE MODIFICATIONS. THE CONTRACTOR MUST CONTACT THE OWNER AND LANDSCAPE ARCHITECT AT LEAST 10 DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S).
- 6.2) REMOVAL AND REPLACEMENT OF PLANTS PROVIDED BY CONTRACTOR TO BE DONE WITHIN THIRTY DAYS OF NOTIFICATION BY OWNER OF THEIR UNSATISFACTORY CONDITION DURING GROWING SEASONS. REPLACEMENT MATERIALS MUST BE EQUAL IN TYPE AND SIZE PER THE PROJECT'S PLANT LIST.
- 6.3) WHEN REPLACEMENT PLANT SPECIES IS EITHER NOT READILY AVAILABLE OR NO LONGER SUITABLE TO EXISTING SITE CONDITIONS WRITTEN NOTICE RECOMMENDATION OF SUBSTITUTION TO BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT WITHIN FIFTEEN DAYS FOR APPROVAL.
- 6.4) REMOVAL OF TREES SUPPORTS AND DEAD LIMBS PRIOR TO END OF GUARANTEE INSPECTION PERIOD.

Site: Elson

7.1 SITE WORK CONDITIONS. EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY WHEN PLANTING IN AN AREA HAS BEEN COMPLETED. THE AREA SHALL BE CLEARED OF ALL DEBRIS, SOIL PILES AND CONTAINERS DAILY. WHERE EXISTING GRASS AREAS HAVE BEEN DAMAGED OR SCARRED DURING PLANTING OPERATIONS, THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS AT HIS EXPENSE.

7.2) CLEAN PA

7.4) REMOVE PROTECTIVE BARRIERS AND WARNING SIGNS AT TERMINATION OF LAWN ESTABLISHMENT.

Irrigation 1

- 8.1) ALL IRRIGATION SYSTEM COMPONENTS SHALL BE SUPPLIED BY REGIONALLY AUTHORIZED DISTRIBUTORS WHO PROVIDE SINGLE SOURCE RESPONSIBILITY FOR WARRANTY SERVICE AND OPERATIONS TO CONFORM TO SPECIFICATIONS IN ALL RESPECTS.
- 8.2) THE CONTRACTOR IS TO SUBMIT PLANS PREPARED BY A IRRIGATION SPECIALIST TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- 8.3) ALL LINE VOLTAGE TO CONTROLLER AND ~~RE~~ASSOCIATED BREAKER, CONDUIT ETC TO BE PERFORMED BY A LICENSED ELECTRICIAN.
- 8.4) ALL WIRES FOR RAIN SENSOR TO BE RUN IN SCHEDULE 40 PVC CONDUIT FOR APPLICATIONS IN EXPOSED AREAS UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- 8.5) SLEEVES TO BE COORDINATED, LOCATED AND INSTALLED UNDER ALL HARSCAPE FEATURES SUCH AS WALLS, WALLS AND DRIVEWAYS. THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ALL CONFLICT AND DISCREPANCIES.
- 8.6) CONTRACTOR WILL REVIEW WITH CLIENT ALL IRRIGATION PROCEDURES AND PROCESSES (i.e. TIMERS, ZONES AND ALL OTHER ITEMS INVOLVED W/ THE IRRIGATION SYSTEM) AND PROVIDE NECESSARY DOCUMENTATION FOR OPERATION OF IRRIGATION SYSTEM.
- 8.7) THE CONTRACTOR IS TO PROVIDE WIRES FOR FUTURE EXPANSION IN 1" DIAMETER VALVE BOX AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CLIENT.
- 8.8) UNLESS INDICATED OTHERWISE, ALL PLANT BEDS ARE TO BE IRRIGATED WITH Drip IRRIGATION, ALL LAWNS AREAS TO BE IRRIGATED WITH SPRAY HEADS, MODELS/PARTS T.B.D. AND VERIFIED BY LANDSCAPE ARCHITECT.

Middleton Corner
8 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Willeridge Development LLC of Needham, MA

Page 6 of 20

Planting Specifications

Scale: As Noted

Sheet: 1 D1



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Date: 2/27/24

Revisions:
None Date Description
3. 5/6/24 Revised lighting specification
to match residential parcel
4. 5/16/24 Town submission
5. 6/12/24 Add deciduous trees along
South Main Street
6. 7/9/24 Update building footprint &
add planting at north end of
building
7. 1/26/25 Update site plan and planting
8. 3/7/25 Privacy fence
9. 11/18/25 Town Submission

Middleton Corner
18 Boston Street & 49 South Main Street, Middleton, Massachusetts
Prepared for: Villardridge Development LLC of Needham, MA

Drawn By: EAL Checked By: TEM

**Planting
Details**

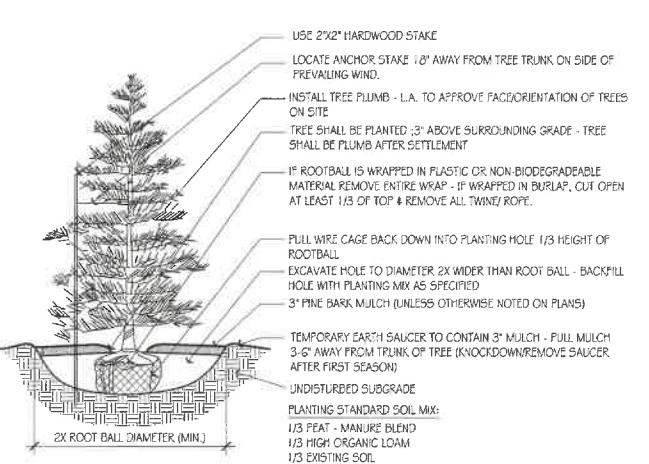
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Sheet: LD2

Base information provided electronically by:
Hancock Associates of Boston, MA

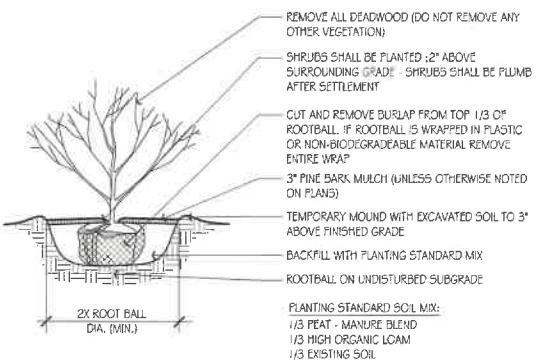
SCHEDULE OF TOPSOILS & ADDITIVES

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	12"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LOAM - PEATIZED OR GROUND GROUND SOIL MEAL (50 LB. PER 100 SF) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF)
UNAVS -SOIL # SEED	6"	6" SCREENED LOAM
PITS/REEF WELLS *STANDARD MIX* FOR BACKFILL	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL



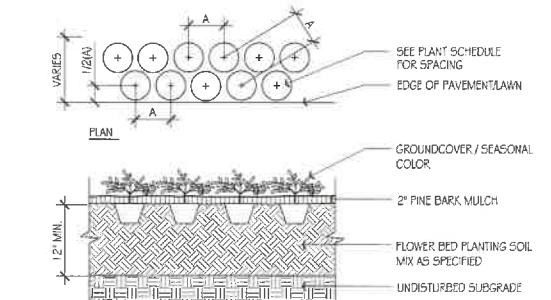
Coniferous Tree Planting

Scale: N.T.S.



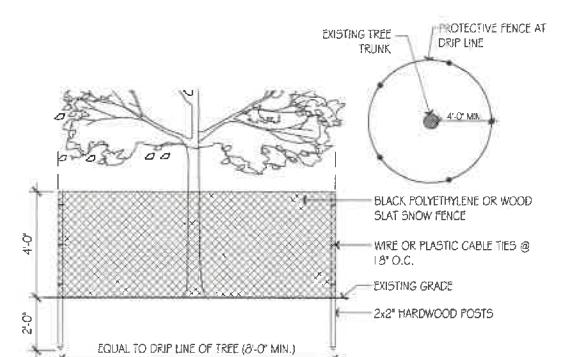
Shrub Planting

Scale: N.T.S.



Perennial, Groundcover & Seasonal Color Planting

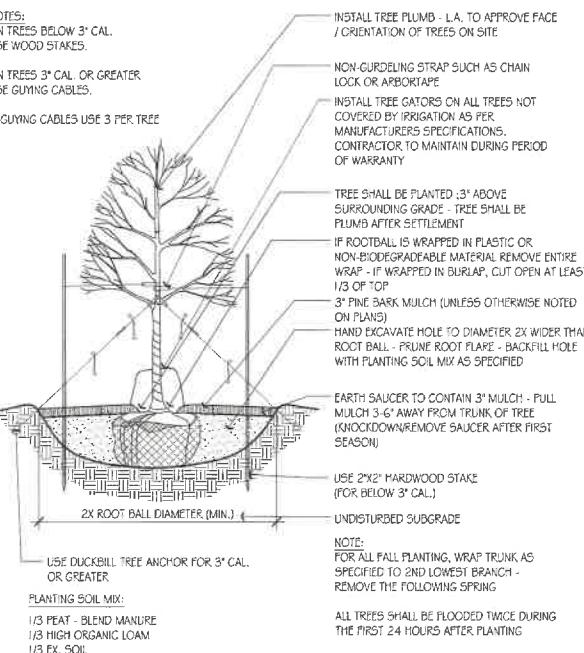
Scale: N.T.S.



NOTES:
1. PROTECTIVE FENCE TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
2. NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
4. DO NOT NAIL BOARDS OR FENCING TO TREES DURING CONSTRUCTION.
5. ANY EXCAVATING WITHIN DRIPLINE MUST BE APPROVED BY LANDSCAPE ARCHITECT AND MUST BE HAND-DUG. CONTRACTOR SHALL NOT CUT ANY ROOTS AND/OR BRANCHES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
6. ROOTS EXPOSED AND/OR DAMAGED DURING GRADING & CONSTRUCTION OPERATIONS SHALL BE CUT OFF CLEANLY INSIDE THE EXPOSED OR DAMAGED AREA AND TOPSOIL BE PLACED OVER THE ROOTS IMMEDIATELY. FEEDER ROOTS SHALL NOT BE CUT IN AN AREA INSIDE DRIP LINE OF THE TREE BRANCHES.
7. ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
8. STOCKPILE MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
9. INSPECT FENCE ON WEEKLY BASIS AND REPAIR DAMAGE IMMEDIATELY.

Tree Protection

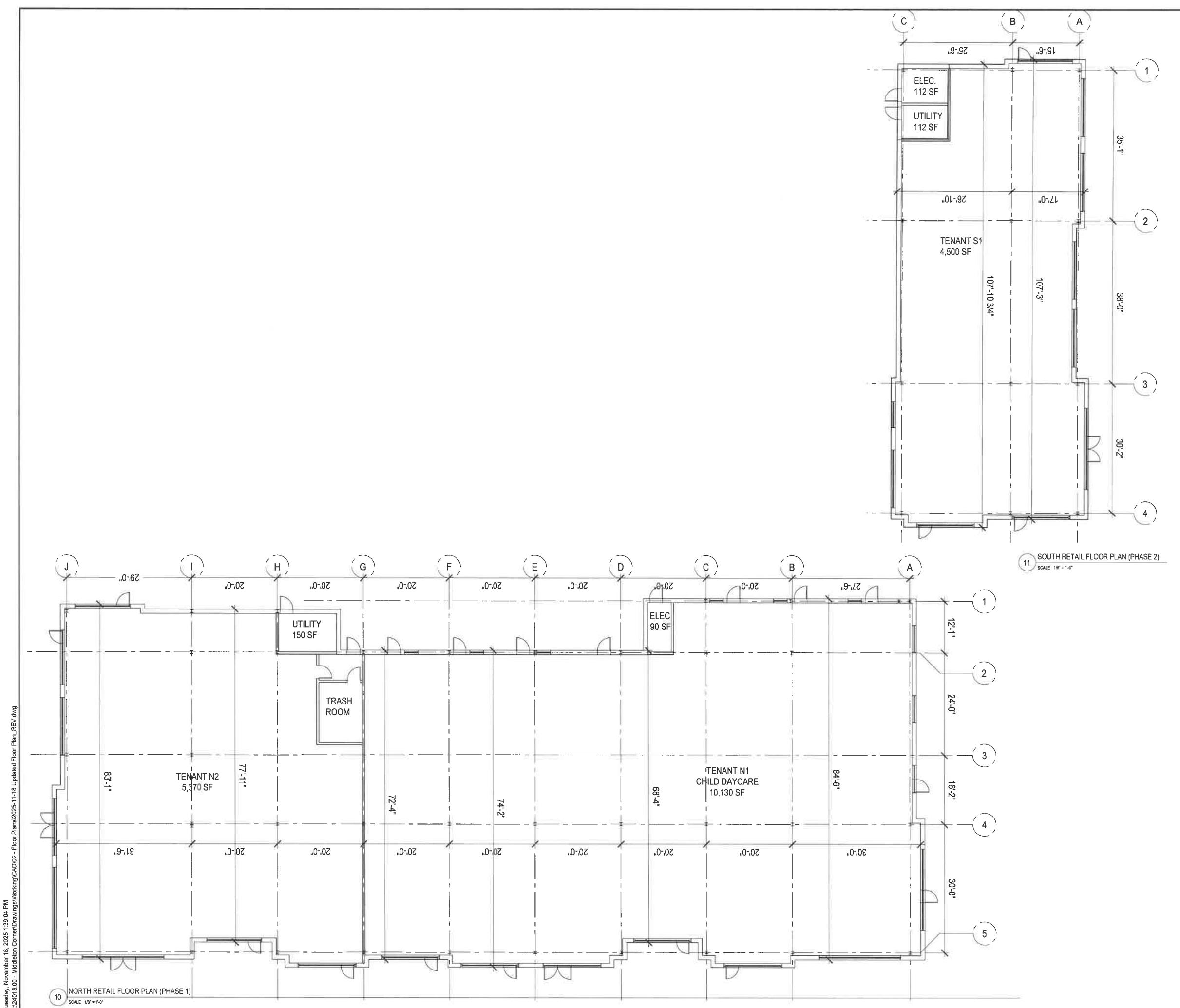
Scale: N.T.S.



Deciduous Tree Planting

Scale: N.T.S.

NOTES:
ON TREES BELOW 3" CAL.
USE WOOD STAKES.
ON TREES 3" CAL. OR GREATER
USE GUYING CABLES.
IF GUYING CABLES USE 3 PER TREE.
TREE SHALL BE PLANTED 3" ABOVE SURROUNDING GRADE - TREE SHALL BE PLUMB AFTER SETTLEMENT.
IF ROOTBALL IS WRAPPED IN PLASTIC OR NON-BIODEGRADABLE MATERIAL REMOVE ENTIRE WRAP - IF WRAPPED IN BURLAP, CUT OPEN AT LEAST 1/3 OF TOP.
3" Pine Bark Mulch (unless otherwise noted on plans).
HAND EXCAVATE HOLE TO DIAMETER 2X WIDER THAN ROOT BALL - PRUNE ROOT FLARE - BACKFILL HOLE WITH PLANTING SOIL MIX AS SPECIFIED.
EARTH SAUCER TO CONTAIN 3" MULCH - FULL MULCH 3'-6" AWAY FROM TRUNK OF TREE (KNOCKDOWN/ REMOVE SAUCER AFTER FIRST SEASON).
USE 2x2' HARDWOOD STAKE (FOR BELOW 3" CAL.)
UNDISTURBED SUBGRADE.
NOTE:
FOR ALL FALL PLANTING, WRAP TRUNK AS SPECIFIED TO 2ND LOWEST BRANCH - REMOVE THE FOLLOWING SPRING.
ALL TREES SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.
PLANTING SOIL MIX:
1/3 PEAT - BLEND MANURE
1/3 HIGH ORGANIC LOAM
1/3 EX. SOIL.



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Consultant:

Revision:

- July 16, 2024
- January 28, 2025
- November 18, 2025

Architect of Record:



Drawn: J.Z.

checked: E.B.

Scale: 1/8" = 1'-0"

Key Plan:

Project Name:

Middleton, MA

Sheet Name:

**NORTH & SOUTH RETAIL
FLOOR PLANS
PHASE I & II**

Project Number:

24018

— 1 —

February 27, 2024

Sheet Number

A1 01

A1.01

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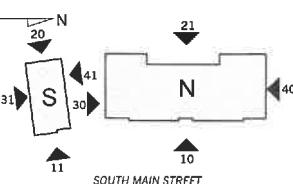


Drawn: J.Z

Checked: E.B.

Scale: AS NOTED

Key Plan:



Project Name:
Middleton Corner

Middleton, MA

Sheet Name:

PHASE I & II
EXTERIOR ELEVATIONS

Project Number:

24018

Issue Date:

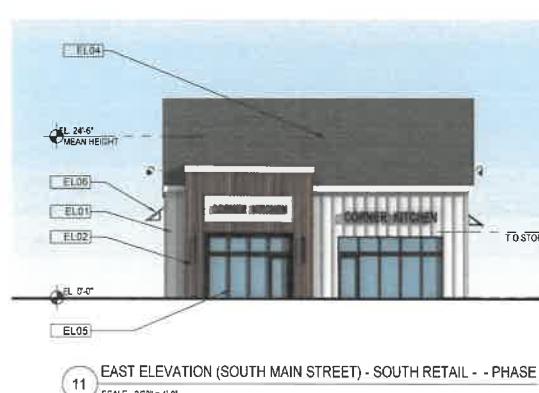
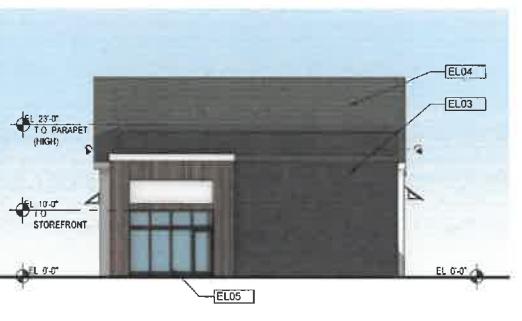
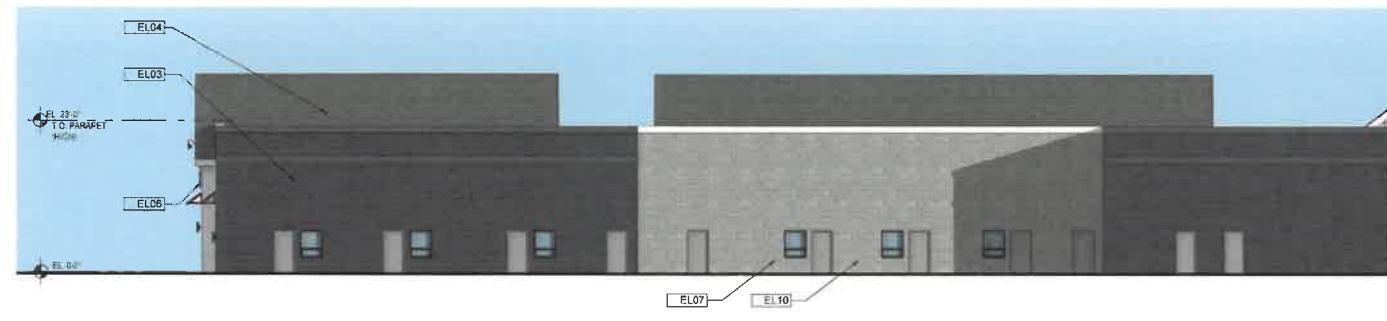
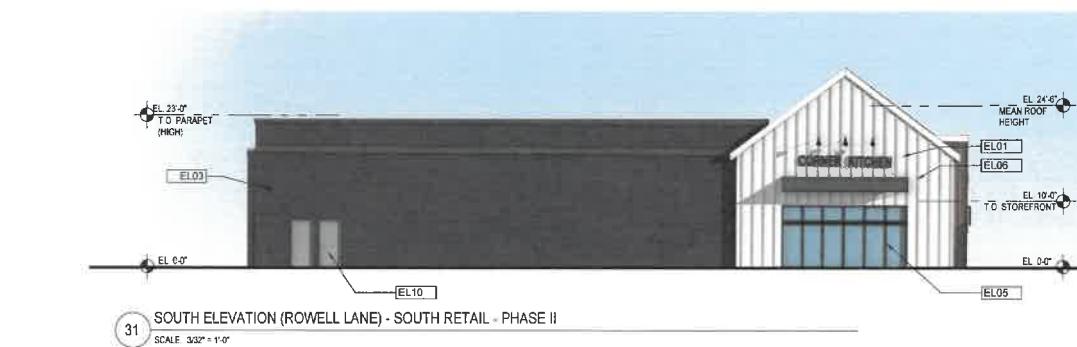
February 27, 2024

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MATERIAL KEY:

EL01	FIBER CEMENT BOARD & BATTEN SIDING
EL02	FIBER CEMENT VERTICAL SIDING
EL03	FIBER CEMENT HORIZONTAL SIDING
EL04	ASPHALT SHINGLE ROOFING
EL05	ALUMINUM STOREFRONT
EL06	FABRIC OR ASPHALT SHINGLE CANOPY
EL07	PAINTED CMU
EL08	STEEL POST
EL09	TONGUE & GROOVE SOLID COMPOSITE PANELS WITH ALUM. FRAMING
EL10	METAL DOOR



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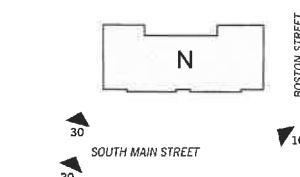
Revision:

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Architect of Record:



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Checked: E.B.
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Key Plan:



Project Name:
Middleton Corner

Middleton, MA
Sheet Name:
PHASE I
ILLUSTRATIVE IMAGES

Project Number:
24018
Issue Date:
February 27, 2024
Sheet Number:
A4.02.1



VIEW FROM SOUTH MAIN STREET
30 SCALE NOT TO SCALE



VIEW FROM SOUTH MAIN STREET
20 SCALE NOT TO SCALE



VIEW FROM BOSTON & SOUTH MAIN STREET
10 SCALE NOT TO SCALE

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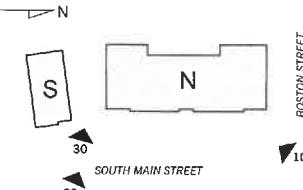
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Project Name:
Middleton Corner

Middleton, MA
Sheet Name:
PHASE II
ILLUSTRATIVE IMAGES

Project Number:
24018
Issue Date:
February 27, 2024
Sheet Number:

A4.02.2



VIEW FROM SOUTH MAIN STREET
30 SCALE NOT TO SCALE



VIEW FROM SOUTH MAIN STREET
20 SCALE NOT TO SCALE



VIEW FROM BOSTON & SOUTH MAIN STREET
10 SCALE NOT TO SCALE