



1150 Great Plain Ave. # 920056
Needham, MA 02492
Phone: (617) 418-3575

November 9, 2023

Rich Benevento, Chair
Zoning Board of Appeals
Town of Middleton
195 North Main Street
Middleton, MA 01949

RE: ZBA Submission Cover Letter
Project: Villebridge Middleton
Applicant: Villebridge Acquisitions LLC
Owner: 10 Boston St. & 49 S. Main St.: Champlain Realty Trust; 18 Boston St.: Stigliano, Inc.
Property: 10 Boston St., a portion of 49 S. Main St., and a portion of 18 Boston St.

Dear Chair Benevento and other Board Members:

Thank you for our last meeting and discussion on October 26th. In lead up to the next meeting on November 16th, this cover letter provides some information requested and/or discussed at the October 26th meeting and lists the other submission materials being submitted by 3:00 PM today.

Commercial / Retail Concepts

Although not a part of this application, redevelopment of the Angelica's parcel was discussed briefly at the last meeting in the context of how the retail buildings may or may not screen or block from view the 40B residential application before you from S. Main Street. As part of addressing that topic, I stated that the retail concepts we were considering reflected a relatively small footprint of approximately 10,000-12,000 square feet of commercial space.

While we are still wrestling with dynamic variables regarding construction costs, lease rents, and the capital markets, I wanted to amend my previous statement to say that in recent days we have expanded the scenarios we are considering including site plans that reflect up to 20,000 square feet or more of commercial space. I respect that the Board is experienced with the fluid nature of commercial / retail development, however I felt it important to transparently convey we are working through several scenarios as we gain feedback from contractors, prospective tenants, capital partners, and other stakeholders. This may impact the magnitude of screening / blocking that may occur.

Pre- and Post- Development Impervious Area Calculations

Chair Benevento inquired as to the pre- and post-development impervious area calculations. It is my understanding this inquiry was for beyond the 40B residential application before you. Given the overall context, this is an understandable request, and the chart below summarizes the information requested. It should be noted that the commercial conceptual information reflects the plan we currently believe is most likely to be advanced and submitted for site plan review in the coming months.

Parcel	Total Lot Area		Total Impervious Area			Open Space Required
	SF	Acres	Existing	Proposed		
40B Proposal (Lot 2)	99,268	2.28	38,124	38%	67,147	68%
Commercial Concept (Lot 3) [2]	121,344	2.79	106,252	88%	97,075	80%
Total Land Area	220,612	5.06	144,376	65%	164,222	74%
						16%

[1] Approximately 18,380 sq. ft. of Lot 2 is in the Business B zoning district, which requires >=25% open space.

[2] Current commercial concept subject to change; conceptual plan only.

Additional Materials Submitted

- Building Design Presentation by TAT
- Civil Presentation Exhibits by Hancock
- Civil Plan Revisions by Hancock
- Civil Peer Review Response Update by Hancock
- Traffic Peer Review Response Letter
- Landscaping Plan Revisions (including photometric study) by Hawk (for December meeting)
- Landscaping Rendering Revision

On behalf of Villebridge Acquisitions LLC and its project team, we look forward to the next meeting on November 16th. Ed Bradford from TAT will present the building design revisions. Regrettably, Joe Peznola of Hancock Associates has a conflict and will not be able to join us on November 16th. His colleague, Fred Keylor, who has been an integral part of the project team from the outset, will be joining us. Jeff Dirk from Vanasse & Associates will present the traffic study.

Kind regards,

 Authorized Representative:

Lars Unhjem, Manager
 Villebridge Acquisitions LLC

Villebridge Middleton

ZBA Meeting
November 16, 2023



ZBA Schedule | Status Update

September 20, 2023 (Hearing Opened) | COMPLETED

1. Overview Presentation	COMPLETED
2. Review of Waiver Requests	DEFERRED
3. Authorize Peer Reviewer	COMPLETED
4. Guidance on Building Design Updates	STARTED
5. Traffic: Determine Study Network	COMPLETED
6. Board Questions	COMPLETED
7. Public Comment	COMPLETED

October 26, 2023 | COMPLETED

1. Building Size and Massing Review	CONTINUED
2. Building Design	CONTINUED
3. Civil: Site Plan, Grading, Utilities, Subdivision, Stormwater	STARTED
4. Septic	STARTED
5. Follow-Up on Prior Topics	COMPLETED
6. Board Question	COMPLETED
7. Public Comment	COMPLETED

November 16, 2023 | TONIGHT

1. Building Size and Massing Review - Continuation
2. Building Design (if needed)
3. Traffic
4. Follow-Up on Prior Topics
 - > Civil & Septic
5. Board Questions
6. Public Comment

December 14, 2023

1. Landscaping & Lighting
2. Follow-Up on Prior Topics
3. Board Questions
4. Public Comments

January 25, 2024

1. Follow-Up on Prior Topics
2. Review of Waivers
3. Decision Conditions Discussion
4. Board Questions
5. Public Comment

February 22, 2024

1. Follow-Up on Prior Topics
2. Close Public Hearing (before deadline of March 18, 2024, below)
3. Decision Conditions (Board discussion only)

March 18, 2024

Deadline for closing public hearing (180 days from first Public Hearing)

March 28, 2024

1. Decision/Conditions(40 days after close of public hearing, or April 2, 2024 if the hearing closes on February 22, 2024)

View from Boston Street | October 26, 2023 Planning Board Meeting



View from Boston Street | Alternate Roof Dormers Option 1



View from Boston Street | Alternate Roof Dormers Option 2



View from Boston Street | Alternate Roof Dormers Option 2.1



View from Route 114 Looking Northwest | October 26, 2023 Planning Board Meeting



View from Route 114 Looking Northwest | Alternate Roof Dormers Option 1



View from Route 114 Looking Northwest | Alternate Roof Dormers Option 2



View from Route 114 Looking Northwest | Alternate Roof Dormers Option 2.1



View from Route 114 Looking Northwest | Alternate Roof Dormers Option 3.1



View from Route 114 Looking Northwest | Alternate Roof Dormers Option 3.2



View from Rowell Lane Looking Northeast | October 26, 2023 Planning Board Meeting



View from Rowell Lane Looking Northeast | Alternate Roof Dormers Option 1



View from Rowell Lane Looking Northeast | Alternate Roof Dormers Option 2



View from Rowell Lane Looking Northeast | Alternate Roof Dormers Option 2.1



Thank You



MIDDLETON
10 & 18 Boston Street &
49 South Main Street
Middleton, Massachusetts 01949

PREPARED FOR:
VILLEBRIDGE DEVELOPMENT LLC.
1150 Great Plain Avenue
Needham, Massachusetts 02492

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists
121 E. BERKELEY ST., 4TH FL., BOSTON, MA 02118
VOICE (617) 357-8145, FAX (617) 357-9495
WWW.HANCOCKASSOCIATES.COM

LEGEND

NOTES:
1. TEST PITS OSE-TP-1 AND OSE-TP-2 AND ASSOCIATED PERCOLATION TESTS WERE PERFORMED BY ONSITE ENGINEERING, INC. IN JULY OF 2022.
2. TEST PITS TP-6, TP-11, TP-13, TP-102, TP-103 AND TP-105 WERE PERFORMED BY GZA GEORENTERAL, INC. IN APRIL AND MAY OF 2022.
3. SEE SHEET C-4 FOR TEST PIT LOGS.
4. ADDITIONAL SOIL TESTING TO BE PERFORMED WITHIN THE AREAS OF THE TWO PROPOSED STORMWATER INFILTRATION SYSTEMS PRIOR TO PREPARATION OF BUILDING PERMIT/CONSTRUCTION DRAWINGS. INFILTRATION SYSTEM DESIGNS WILL BE ADJUSTED AS REQUIRED BASED ON THIS ADDITIONAL SOIL TESTING.

PLOT DATE: Nov-09, 2023 10:06 am
DWG: 25912sp29r1.dwg
LAYOUT: EX-3 Utility (20sc)
SHEET: EX-3
PROJECT NO.: 25912

MIDDLETON

10 & 18 Boston Street &
49 South Main Street
Middleton, Massachusetts 01949

PREPARED FOR:

VILLEBRIDGE DEVELOPMENT LLC

1150 Great Plain Avenue
Needham, Massachusetts 02492

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LEGEND

1 EAK IP 11/09/23 RESPONSE TO PEER REVIEW

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPT
			DATE: 08/22/23	SCALE: 1
	DRAWN BY:		CMK	DESIGNED BY:

PRELIMINARY UTILITY PLAN EXHIBIT

PLOT DATE: Nov 09, 2023 10:06 am

DWC: 25812cp28r1.dwg

LAYOUT: EX-3 Utility (20sc)

SHEET: **EX-3**

2551



MIDDLETON

10 & 18 Boston Street &
49 South Main Street
Middleton, Massachusetts 01949

PREPARED FOR:
VILLEBRIDGE DEVELOPMENT LLC.

1150 Great Plain Avenue
Needham, Massachusetts 02492

HANCOCK ASSOCIATES

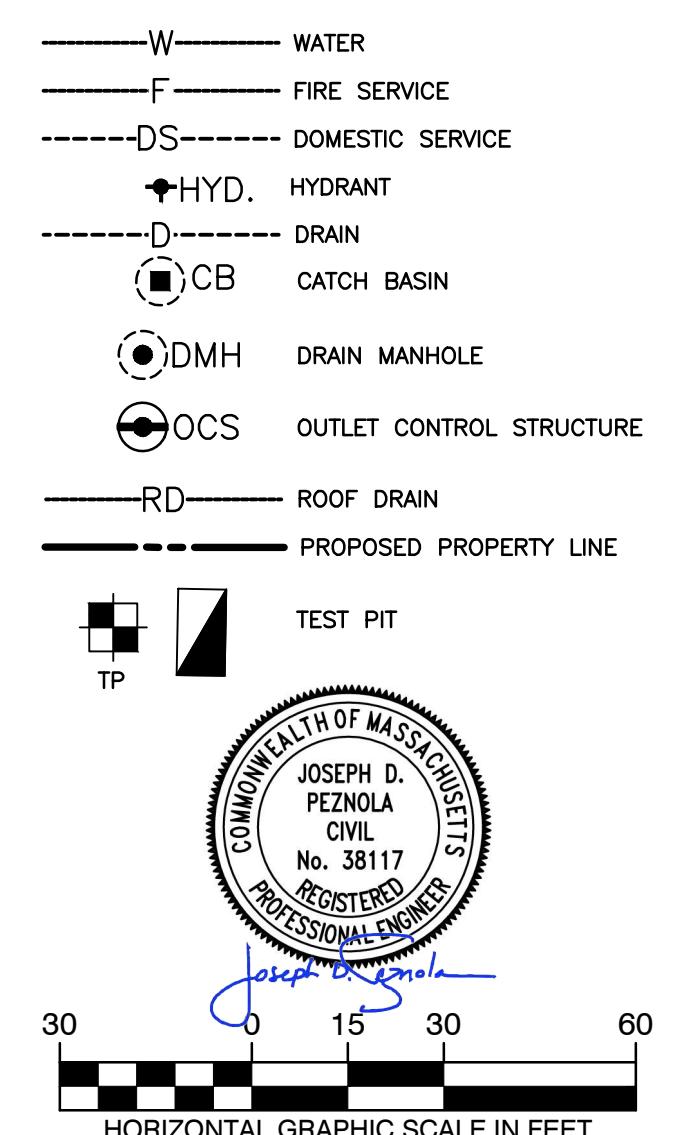
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LEGEND



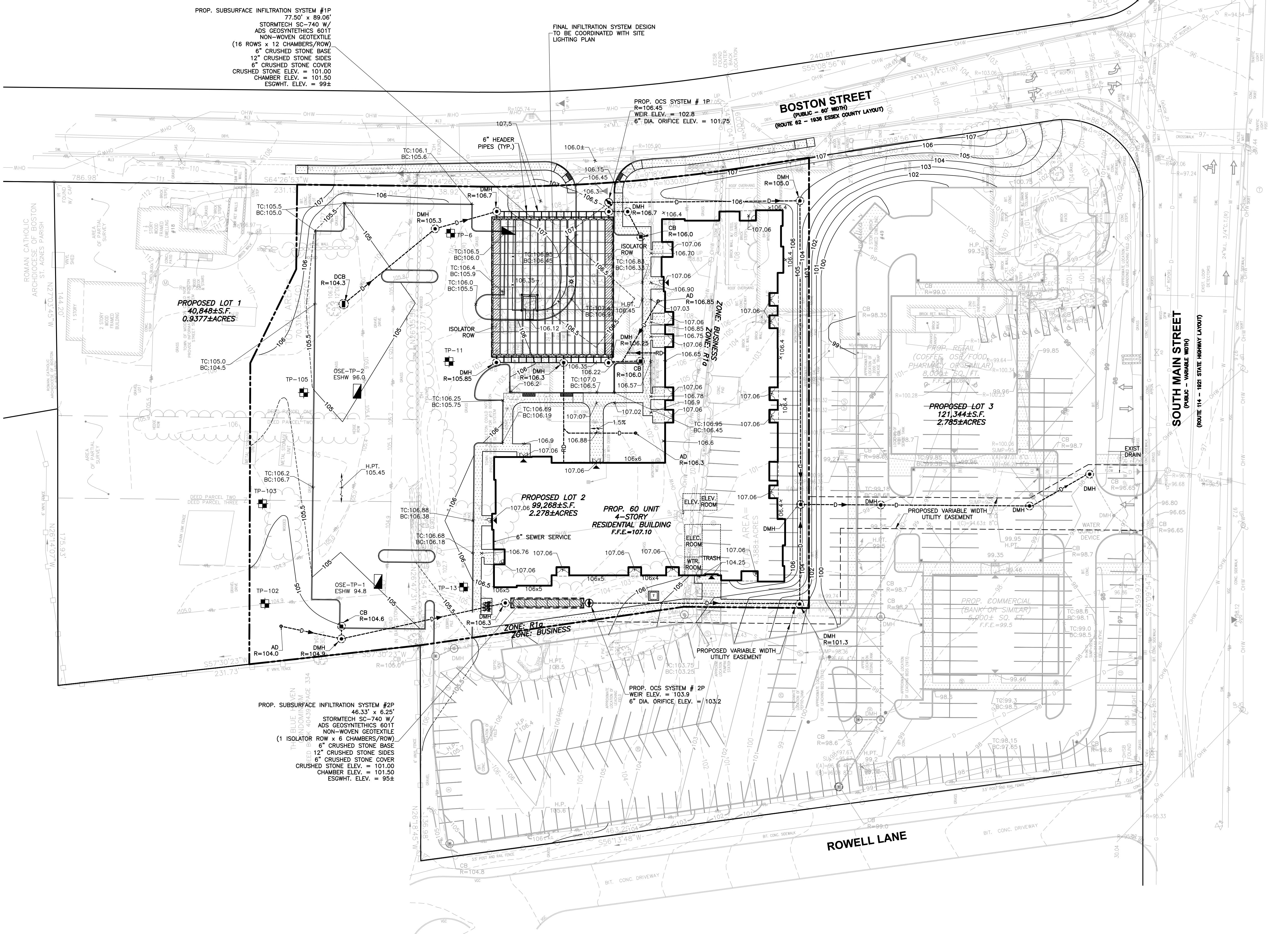
1 FAK JP 11/09/23 RESPONSE TO PEER REVIEW #1


NO. BY APP DATE ISSUE/REVISION DESCRIPTION
DATE: 08/22/23 SCALE: 1"=30'
DRAWN BY: CMK DESIGNED BY: FAK
CHECKED BY: DTW APPROVED BY: JP

PRELIMINARY GRADING & DRAINAGE PLAN

PLOT DATE: Nov 08, 2023 8:46 pm
DWG: 25912sp291.dwg
LAYOUT: C-2 Grading
SHEET: C-2
PROJECT NO.: 25912

NOTE:
ADDITIONAL SOIL TESTING TO BE PERFORMED WITHIN
THE AREAS OF THE TWO PROPOSED STORMWATER
INFILTRATION SYSTEMS PRIOR TO PREPARATION OF
BUILDING PERMIT/CONSTRUCTION DRAWINGS.
INFILTRATION SYSTEM DESIGNS WILL BE ADJUSTED AS
REQUIRED BASED ON THIS ADDITIONAL SOIL TESTING.





MIDDLETON

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49 South Main Street
Middleton, Massachusetts 01949

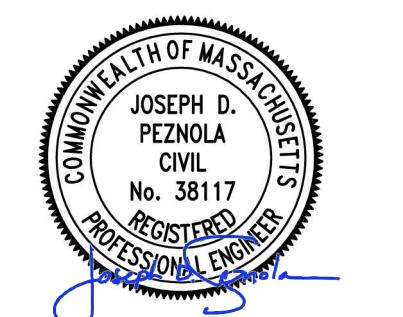
VILLEBRIDGE DEVELOPMENT LLC.

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GZA GeoEnvironmental, Inc. Due-Diligence Geotechnical Evaluation
Proposed Development
10 & 18 Boston St. & 49 South Main St.
249 Vanderbilt Avenue
Middleton, Massachusetts
Checked By: MAR/MJO

Test Pit No. TP-6
Page No. 1 of 1
File No. 01.0175595.10

GZA Rep. Juan Diego Lopez Contractor Cyan Landscaping Contractors, Inc.
Operator Paulino Chamorro Date 4/5/2022
Weather 50's-60's, Sunny Make CAT Model 308 Ground Elev. 105
Capacity 0.5 CY Reach 15 FT Time Started 1115
Time Completed 1145

Depth Soil Description (STRATUM DESCRIPTION - USA FIELD CLASSIFICATION)
0 Moist, br, Silt and f-c SAND, tr f-c Gravel, tr Roots. (TOPSOIL)
1' Moist, light bn, f-c SAND, sm(+ Silt, sm f-c Gravel, tr Boulders/Cobbles, tr(- Roots)
2' Moist, bn, f-c SAND and f-c GRAVEL, sm Silt, tr Boulders/Cobbles, tr Roots (FILL)
3' (Silty, Gravelly SAND - USDA SANDY LOAM)
4' Moist, bn, f-c SAND, sm f-c Gravel, It Silt, tr Boulders.
(SAND/GRAVEL - USDA LOAMY SAND)
5' Moist, bn, f-c SAND, sm f-c Gravel and f-c SAND, It(-) Silt.
6' 6.4' Moist to wet, bn, f-c GRAVEL and f-c SAND, It(-) Silt.
7' 8.4' (SAND/GRAVEL - USDA LOAMY SAND)
9' Bottom of test pit at 8.4 feet.
(Excavator bucket refusal on apparent nested Boulders or Bedrock)
10' 11' 12' 13' 14' 15' 16'

Notes:
1. Ground surface elevation estimated from topography shown on a plan prepared by Hancock Associates, Inc. entitled "Existing Conditions Plan of Land in Middleton, MA," dated 5/26/2022.
2. Field testing results represent total organic vapor levels, referenced to a benzene standard, measured in the headspace of sealed soil sample jars using a Ion Science Phocheck Tiger organic vapor meter equipped with a photionization detector (PID) and 10.6eV lamp. Results in parts per million by volume (ppm).
3. Falling head permeability test performed by GZA, approximately 4.3 feet bgs.
4. Water level reading in the soil at approximately 4 feet below ground surface (bgs).
5. Test pit backfilled with excavated spoils placed in approximately 1-foot-thick lifts each tamped with the excavator bucket.

Test Pit Plan
15' 3'
NORTH
Boulder Class Letter Star Range Proportions Used Abbreviations GROUNDWATER
A 6"-17" TRACE (TR) 0 - 10% F = Fine M = Medium
B 18"-30" LITTLE (LT) 10 - 20% V = Very
C 30" and Larger AND 20 - 35% F/C = Fine to medium
E = Easy SOME (SM) 35 - 50% GR = Gray
M = Moderate AND Depth to Ground water (feet)
D = Difficult 30 min 7.8' 45' 5 ft

Stratification lines represent approximate boundaries between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to factors other than those present at the time measurements were made.

GZA GeoEnvironmental, Inc. Due-Diligence Geotechnical Evaluation
Proposed Development
10 & 18 Boston St. & 49 South Main St.
249 Vanderbilt Avenue
Middleton, Massachusetts
Checked By: MAR/MJO

Test Pit No. TP-11
Page No. 1 of 1
File No. 01.0175595.10

GZA Rep. Juan Diego Lopez Contractor Cyan Landscaping Contractors, Inc.
Operator Paulino Chamorro Date 4/5/2022
Weather 50's, Sunny Make CAT Model 308 Ground Elev. 103.5
Capacity 0.5 CY Reach 15 FT Time Started 1115
Time Completed 1145

Depth Soil Description (STRATUM DESCRIPTION)
0 Moist, br, Silt, sm f-c SAND, It f-c Gravel, tr Roots. (TOPSOIL)
1' 1.5' 2' 3' 4' 5' 5.7' 6' 7' 8' 9' 10' 11' 12' 13' 14' 15' 16'

Notes:
1. Ground surface elevation estimated from topography shown on a plan prepared by Hancock Associates, Inc. entitled "Existing Conditions Plan of Land in Middleton, MA," dated 5/26/2022.
2. Field testing results represent total organic vapor levels, referenced to a benzene standard, measured in the headspace of sealed soil sample jars using a Ion Science Phocheck Tiger organic vapor meter equipped with a photionization detector (PID) and 10.6eV lamp. Results in parts per million by volume (ppm).
3. Orange staining noted in the soil at approximately 3.5 feet below ground surface (bgs).
4. Water level reading in the soil at approximately 4.2 feet below ground surface (bgs).
5. Test pit backfilled with excavated spoils placed in approximately 1-foot-thick lifts each tamped with the excavator bucket.

Test Pit Plan
15' 3'
NORTH
Boulder Class Letter Star Range Proportions Used Abbreviations GROUNDWATER
A 6"-17" TRACE (TR) 0 - 10% F = Fine M = Medium
B 18"-30" LITTLE (LT) 10 - 20% V = Very
C 30" and Larger AND 20 - 35% F/C = Fine to medium
E = Easy SOME (SM) 35 - 50% GR = Gray
M = Moderate AND Depth to Ground water (feet)
D = Difficult 30 min 4.5' 5 ft

Stratification lines represent approximate boundaries between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to factors other than those present at the time measurements were made.

GZA GeoEnvironmental, Inc. Due-Diligence Geotechnical Evaluation
Proposed Development
10 & 18 Boston St. & 49 South Main St.
249 Vanderbilt Avenue
Middleton, Massachusetts
Checked By: MAR/MJO

Test Pit No. TP-13
Page No. 1 of 1
File No. 01.0175595.10

GZA Rep. Juan Diego Lopez Contractor Cyan Landscaping Contractors, Inc.
Operator Paulino Chamorro Date 4/5/2022
Weather 50's, Sunny Make CAT Model 308 Ground Elev. 103
Capacity 0.5 CY Reach 15 FT Time Started 0920
Time Completed 0950

Depth Soil Description (STRATUM DESCRIPTION)
0 Moist, bn/dark bn, f-c SAND and f-c GRAVEL, sm Silt, tr Boulders/Cobbles, tr Roots (TOPSOIL)
1' 1.5' 2' 2.25' 3' 4' 5' 5.6' 6' 7' 8' 9' 10' 11' 12' 13' 14' 15' 16'

Notes:
1. Ground surface elevation estimated from topography shown on a plan prepared by Hancock Associates, Inc. entitled "Existing Conditions Plan of Land in Middleton, MA," dated 5/26/2022.
2. Field testing results represent total organic vapor levels, referenced to a benzene standard, measured in the headspace of sealed soil sample jars using a Ion Science Phocheck Tiger organic vapor meter equipped with a photionization detector (PID) and 10.6eV lamp. Results in parts per million by volume (ppm).
3. Orange staining noted in the soil at approximately 3.5 feet below ground surface (bgs).
4. Water level reading in the soil at approximately 4.2 feet below ground surface (bgs).
5. Test pit backfilled with excavated spoils placed in approximately 1-foot-thick lifts each tamped with the excavator bucket.

Test Pit Plan
15' 3'
NORTH
Boulder Class Letter Star Range Proportions Used Abbreviations GROUNDWATER
A 6"-17" TRACE (TR) 0 - 10% F = Fine M = Medium
B 18"-30" LITTLE (LT) 10 - 20% V = Very
C 30" and Larger AND 20 - 35% F/C = Fine to medium
E = Easy SOME (SM) 35 - 50% GR = Gray
M = Moderate AND Depth to Ground water (feet)
D = Difficult 30 min 4.5' 5 ft

Stratification lines represent approximate boundaries between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to factors other than those present at the time measurements were made.

GZA GeoEnvironmental, Inc. Due-Diligence Geotechnical Evaluation
Proposed Development
10 & 18 Boston St. & 49 South Main St.
249 Vanderbilt Avenue
Middleton, Massachusetts
Checked By: MAR/MJO

Test Pit No. TP-100
Page No. 1 of 1
File No. 01.0175595.10

GZA Rep. M. Ostrowski Contractor Cyan Landscaping Contractors, Inc.
Operator Hauler Lops
Weather Partly Sunny, 40s - 50s Date 5/3/2022
Capacity 0.5 c.y. Make CAT Model 308 Ground Elev. 105
Reach 15 ft. Time Started 0943
Time Completed 1015

Depth Soil Description (STRATUM DESCRIPTION - USA FIELD CLASSIFICATION)
0 Dry, black, f-c GRAVEL and f-c SAND, It Silt, (RECYCLED ASPHALT)
0.5' Dry, bn, f-c GRAVEL and f-c SAND, It Silt, (RECYCLED ASPHALT)
1' 1.5' Dry, bn/dark bn, f-c SAND, sm f-c Gravel, tr Roots. (TOPSOIL - USDA LOAM)
2' 3' 3.5' Dry, bn/orange, f-c SAND, sm f-c Gravel, It to Asphalt, tr Boulders/Cobbles, (SUBSOIL - USDA LOAM)
4' 5' 5.5' Dry to wet, bn, f-c SAND, f-c Silt, tr Boulders/Cobbles, (BURIED SUBSOIL - USDA LOAM)
6' 6.5' Dry to wet, bn, f-c GRAVEL and f-c SAND, tr It Boulders/Cobbles, It Silt, (SAND/GRAVEL - USDA SAND)
7' 7.5' Bottom of test pit at 7.5 feet below ground surface.
8' 9' 10' 11' 12' 13' 14' 15' 16'

Notes:
1. Ground surface elevation estimated from topography shown on a plan prepared by Hancock Associates, Inc. entitled "Existing Conditions Plan of Land in Middleton, MA," dated 5/26/2022.
2. Field testing results represent total organic vapor levels, referenced to a benzene standard, measured in the headspace of sealed soil sample jars using a Ion Science Phocheck Tiger organic vapor meter equipped with a photionization detector (PID) and 10.6eV lamp. Results in parts per million by volume (ppm).
3. Buried asphalt approximately 3 inches thick from approximately 1.7 to 2 feet below ground surface (bgs).
4. Test pit backfilled with excavated spoils placed in approximately 1-foot-thick lifts each tamped with the excavator bucket. The ground surface was filled over with topsoil and reseeded upon completion.

Test Pit Plan
20' 2.5'
NORTH
Boulder Class Letter Star Range Proportions Used Abbreviations GROUNDWATER
A 6"-17" TRACE (TR) 0 - 10% F = Fine M = Medium
B 18"-30" LITTLE (LT) 10 - 20% V = Very
C 30" and Larger AND 20 - 35% F/C = Fine to coarse
E = Easy SOME (SM) 35 - 50% GR = Gray
M = Moderate AND Depth to Ground water (feet)
D = Difficult 5 min 6.5' 7.8'

Stratification lines represent approximate boundaries between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to factors other than those present at the time measurements were made.

GZA GeoEnvironmental, Inc. Due-Diligence Geotechnical Evaluation
Proposed Development
10 & 18 Boston St. & 49 South Main St.
249 Vanderbilt Avenue
Middleton, Massachusetts
Checked By: MAR/MJO

Test Pit No. TP-103
Page No. 1 of 1
File No. 01.0175595.10

GZA Rep. M. Ostrowski Contractor Cyan Landscaping Contractors, Inc.
Operator Hauler Lops
Weather Partly Sunny, 40s - 50s Date 5/3/2022
Capacity 0.5 c.y. Make CAT Model 308 Ground Elev. 105
Reach 15 ft. Time Started 1020
Time Completed 1010

Depth Soil Description (STRATUM DESCRIPTION - USA FIELD CLASSIFICATION)
0 0.5' 1' 1.5' 2' 2.5' 3' 3.5' 4' 5' 5.5' 6' 6.5' 7' 7.5' 8.3' 9' 10' 11' 12' 13' 14' 15' 16'

Notes:
1. Ground surface elevation estimated from topography shown on a plan prepared by Hancock Associates, Inc. entitled "Existing Conditions Plan of Land in Middleton, MA," dated 5/26/2022.
2. Field testing results represent total organic vapor levels, referenced to a benzene standard, measured in the headspace of sealed soil sample jars using a Ion Science Phocheck Tiger organic vapor meter equipped with a photionization detector (PID) and 10.6eV lamp. Results in parts per million by volume (ppm).
3. Buried asphalt permeability test by Critec Engineering, Inc. (CII) in the sample 3.5 material.
4. Test pit backfilled with excavated spoils placed in approximately 1-foot-thick lifts each tamped with the excavator bucket. The ground surface was filled over with topsoil and reseeded upon completion.

Test Pit Plan
20' 2.5'
NORTH
Boulder Class Letter Star Range Proportions Used Abbreviations GROUNDWATER
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E = Easy SOME (SM) 35 - 50% GR = Gray
M = Moderate AND Depth to Ground water (feet)
D = Difficult 30 min 7.8'

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Middleton, Massachusetts
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Test Pit No. TP-105
Page No. 1 of 1
File No. 01.0175595.10

GZA Rep. M. Ostrowski Contractor Cyan Landscaping Contractors, Inc.
Operator Hauler Lops
Weather Partly Sunny, 40s - 50s Date 5/3/2022
Capacity 0.5 c.y. Make CAT Model 308 Ground Elev. 105.5
Reach 15 ft. Time Started 1145
Time Completed 1515

Depth Soil Description (STRATUM DESCRIPTION - USA FIELD CLASSIFICATION)
0 0.5' 1' 1.5' 2' 2.5' 3' 3.5' 4' 5' 5.5' 6' 6.5' 7' 7.5' 8.3' 9' 10' 11' 12' 13' 14' 15' 16'

Notes:
1. Ground surface elevation estimated from topography shown on a plan prepared by Hancock Associates, Inc. entitled "Existing Conditions Plan of Land in Middleton, MA," dated 5/26/2022.
2. Field testing results represent total organic vapor levels, referenced to a benzene standard, measured in the headspace of sealed soil sample jars using a Ion Science Phocheck Tiger organic vapor meter equipped with a photionization detector (PID) and 10.6eV lamp. Results in parts per million by volume (ppm).
3. Buried asphalt permeability test by Critec Engineering, Inc. (CII) in the sample 3.5 material.
4. Test pit backfilled with excavated spoils placed in approximately 1-foot-thick lifts each tamped with the excavator bucket. The ground surface was filled over with topsoil and reseeded upon completion.


Test Pit Plan
20' 2.5'
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GZA TEST PIT LOGS

NO. BY APP DATE ISSUE/REVISION DESCRIPTION
DATE: 11/09/23 SCALE: AS NOTED
DRAWN BY: CMK DESIGNED BY: FAK
CHECKED BY: DTW APPROVED BY: JP

PLOT DATE: Nov 08, 2023 8:49 pm
DWG: 25912sp291.dwg
LAYOUT: C-4 GZA TP
SHEET: C-4
PROJECT NO.: 25912

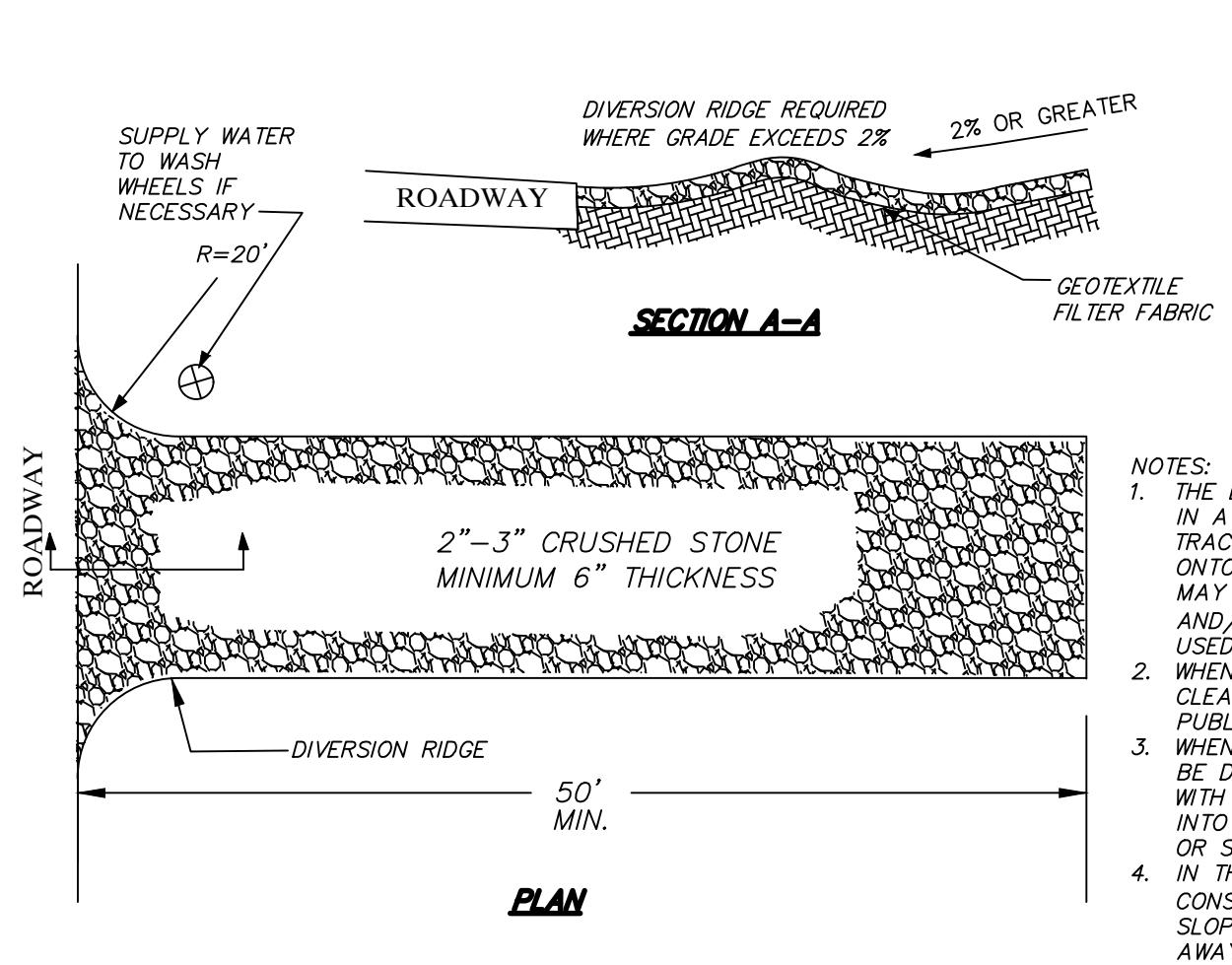


EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM OF 7 DAYS. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 10-12 DAYS OF CONSTRUCTION. CONSTRUCTION WITHIN 7 DAYS OF THE DISTURBANCE OF THE SOIL, IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THESE MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 6%.
- INSTALL STATIONARY FILTER PIPE TO FILTER SILT FROM RUNOFF. SEE SEDIMENT BARRIER DETAILS FOR FILTER PIPE. SEDIMENTATION BARRIER WILL REMAIN IN PLACE FOR NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAVED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. DEPOSITS MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY 1/2 THE THICKNESS OF THE FILTER PIPE. FILTER PIPE AND SEDIMENT BARRIERS SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.

GENERAL CONSTRUCTION NOTES:

- CONTRACTOR TO COORDINATE WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK.
- REFER TO PLANS & SPECIFICATIONS BY ARCHITECT FOR REQUIREMENTS RELATED TO DEMOLITION OF THE EXISTING BUILDING.
- REMOVE ALL EXISTING SEPTIC SYSTEM STRUCTURES ON LOT 2.
- REMOVE ALL EXISTING DRAINAGE STRUCTURES ON LOT 2.
- REMOVE ALL ASPHALT AND CEMENT CONCRETE PAVEMENT, AND ALL CURBING ON LOT 2.



NOTES:

1. ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO THE ROADWAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO STABILIZE THE ENTRANCE. WHEN NECESSARY WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO THE PROPERTY.
2. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH APPROVED SEDIMENT TRAPS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
3. DURING THE PHASE OF TRAVEL, THE CONSTRUCTION ENTRANCE/EXIT SHALL SLOPE DOWN TOWARDS THE SITE AND AWAY FROM THE ROADWAY.
4. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH APPROVED SEDIMENT TRAPS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

NOT TO SCALE

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

NOT TO SCALE

PLAN

NOT TO SCALE

SECTION A-A

ROADWAY

50' MIN.

DIVERSION RIDGE

2'-3" CRUSHED STONE

MINIMUM 6" THICKNESS

GEOTEXTILE FILTER FABRIC

2'-3" CRUSHED STONE

MINIMUM 6" THICKNESS

ROADWAY

50' MIN.

DIVERSION RIDGE

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GEOTEXTILE FILTER FABRIC

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50' MIN.

DIVERSION RIDGE

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MINIMUM 6" THICKNESS

GEOTEXTILE FILTER FABRIC

2'-3" CRUSHED STONE

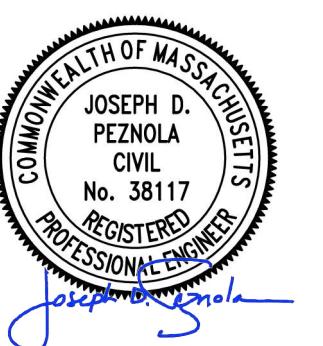
MINIMUM 6" THICKNESS

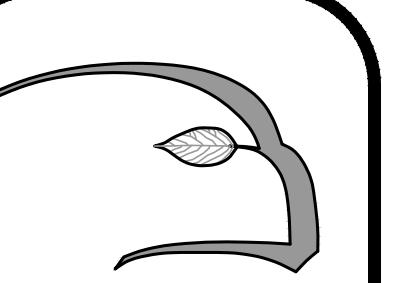
ROADWAY

50' MIN.

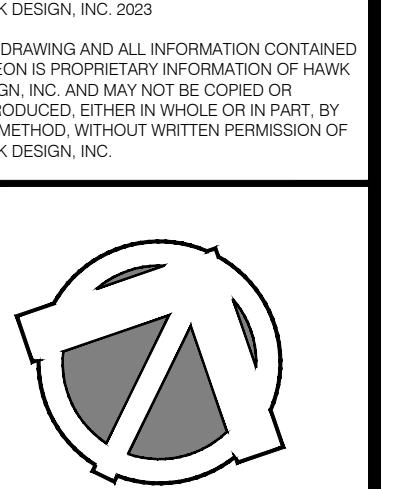
DIVERSION RIDGE

2'-3" CRUSHED ST





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Sagamore, MA
508-833-8800
info@hawkdesigninc.com



Date: 8/22/23

Revisions:
Num. Date Description
1. 11/9/23 Per peer review comments

10 Boston Street
Middleton, Massachusetts
Prepared for: Villbridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

**Illustrative
Site Plan**

Scale: 1" = 20'-0" feet

Sheet: **SK**

0

20

40

60

feet

SCALE: 1" = 20'-0"
Base information provided electronically by:
Hancock Associates of Boston, MA



10 BOSTON STREET

MIDDLETON, MASSACHUSETTS

LANDSCAPE PERMIT SUBMISSION SET REVISION #1

LIST OF DRAWINGS:

		SET DATE
L1.1	PLANTING PLAN	11/9/23
L2.1	LIGHTING PLAN	11/9/23
L2.2	LIGHTING SPECIFICATIONS	11/9/23
LD1	PLANTING SPECIFICATIONS	11/9/23
LD2	PLANTING DETAILS AND PLANT SCHEDULE	11/9/23

OWNER / APPLICANT:

VILLEBRIDGE REAL ESTATE DEVELOPMENT
1150 GREAT PLAIN AVENUE #920056
NEEDHAM, MA 02492
PHONE: 781-343-1239

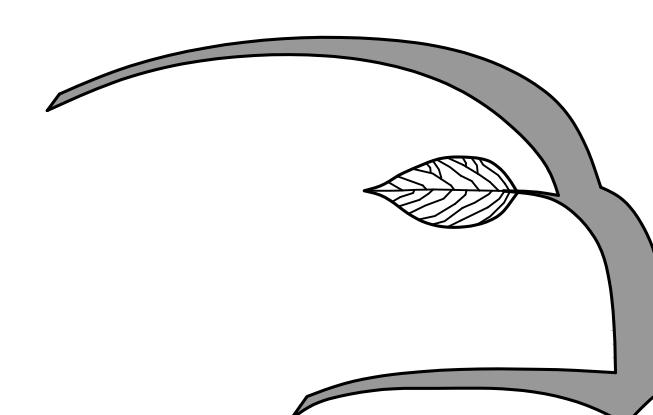
CIVIL ENGINEER:

HANCOCK ASSOCIATES
121 E. BERKLEY STREET, 4TH FLOOR
BOSTON, MA 02118
PHONE: 617-357-8145

ARCHITECT:

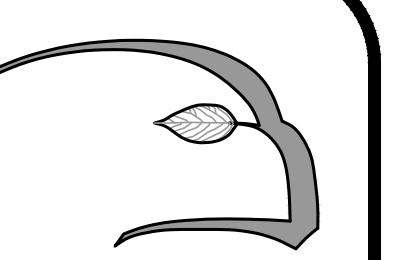
THE ARCHITECTURAL TEAM
50 COMMANDANTS WAY
CHELSEA, MA 02150
PHONE: 617-889-4402

PREPARED BY:



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ehridge Development LLC of Needham, MA

10 Boston Street
Middleton, Massachusetts

Prepared for: Villebridge Development LLC of Needham, MA

Drawn By: BNL

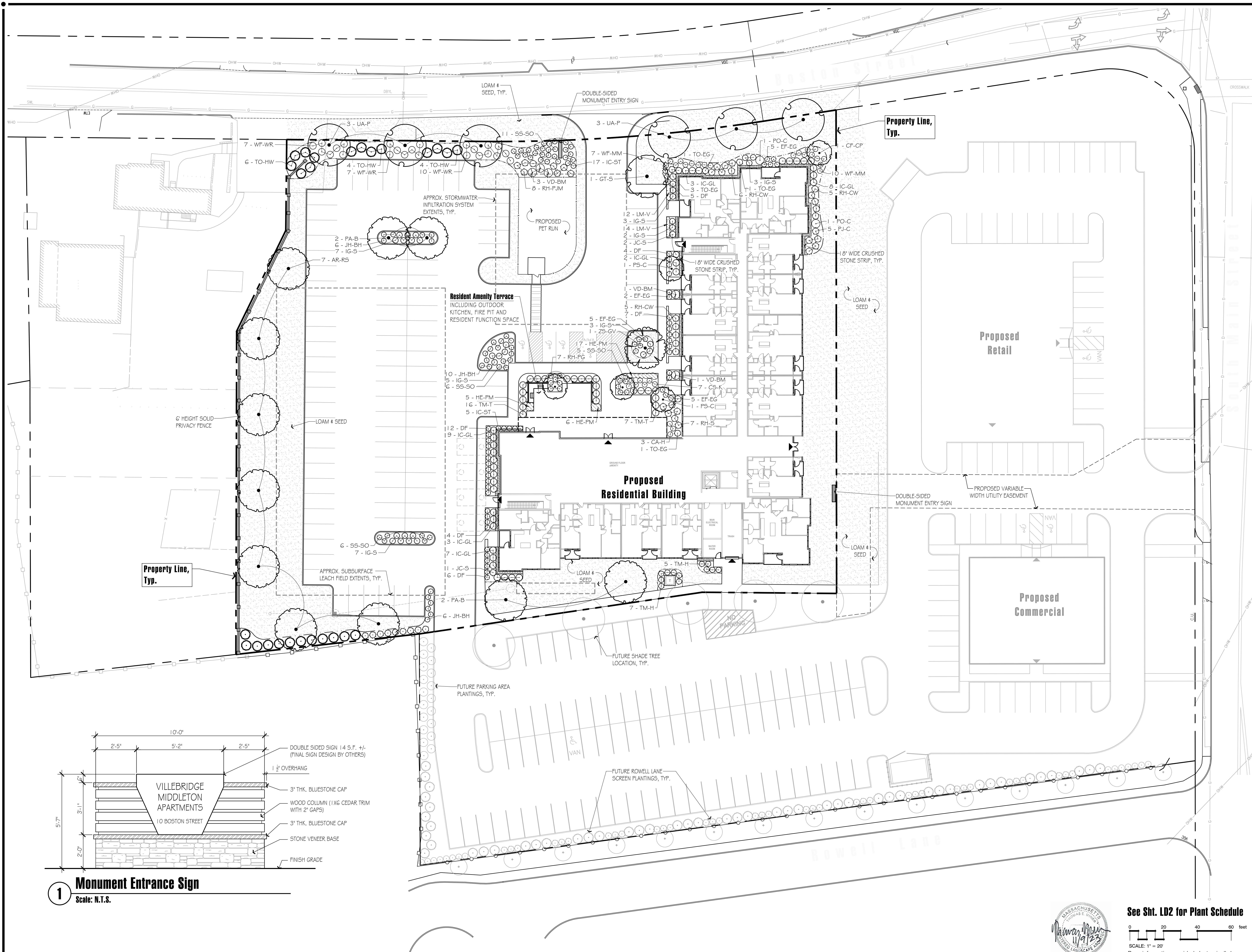
Planting Plan

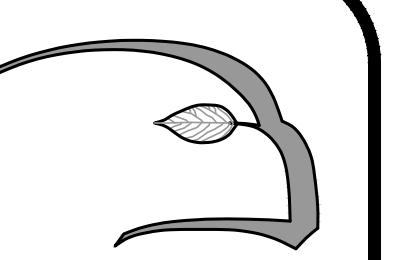
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LITERACY AND LEARNING OUTCOMES

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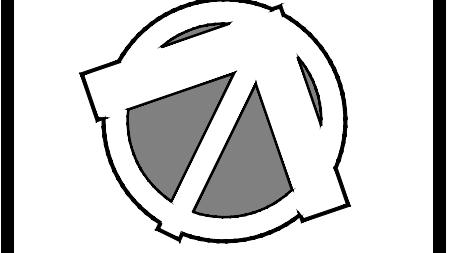




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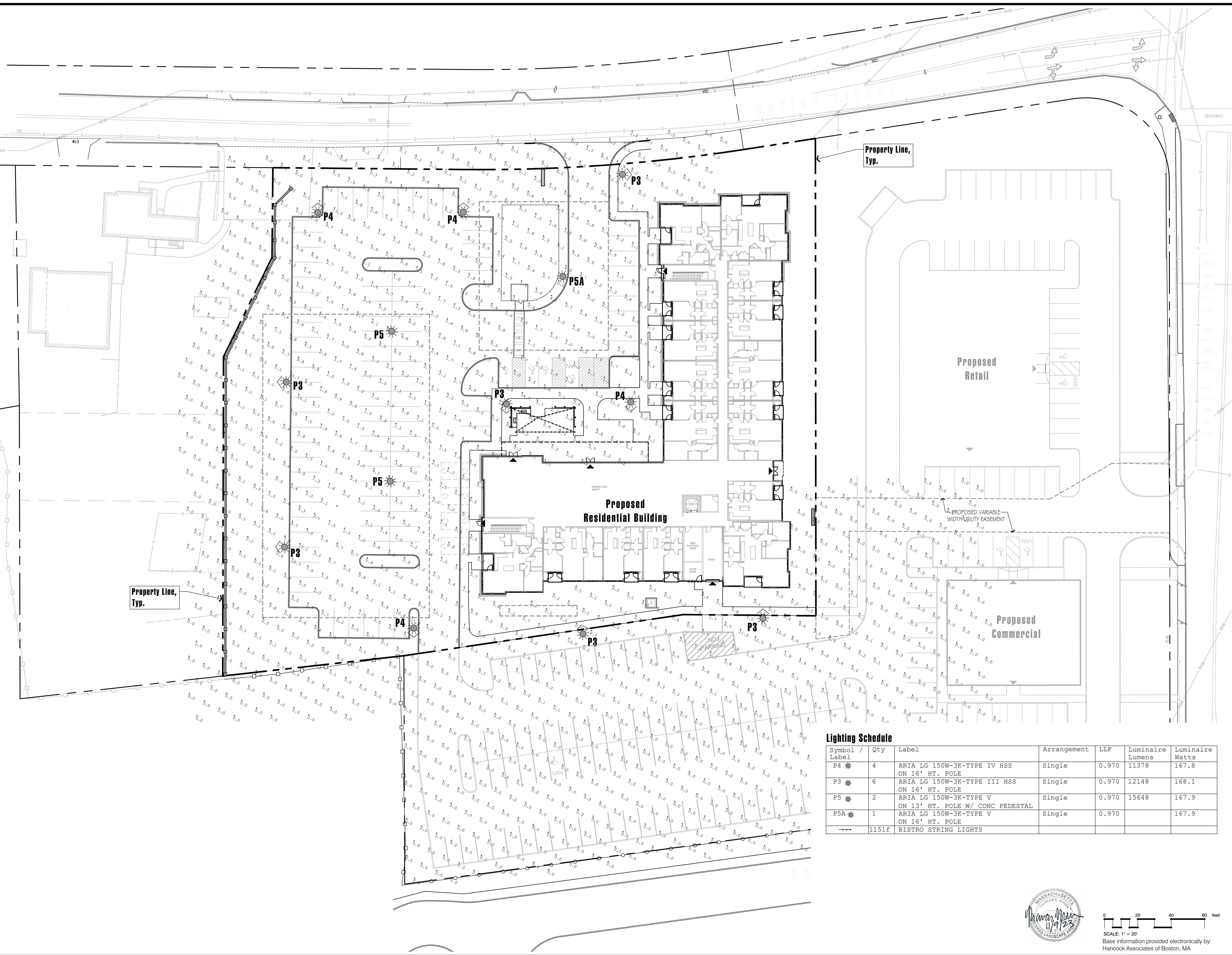
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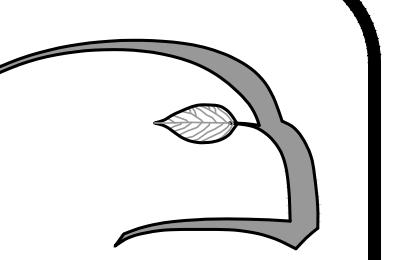


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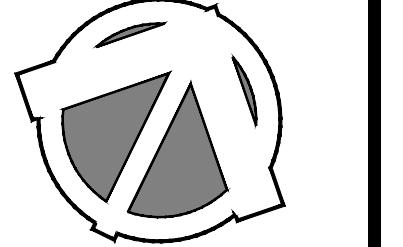




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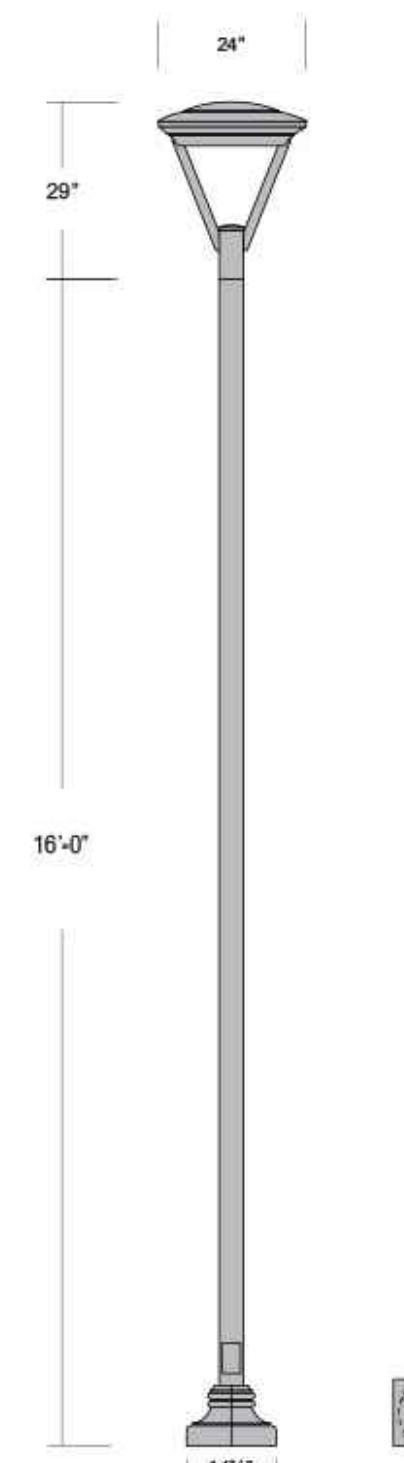


Date: 8/22/23

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AREA LIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P3



ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available.
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type III

OPTIONS: House side shield.

ARM: N/A

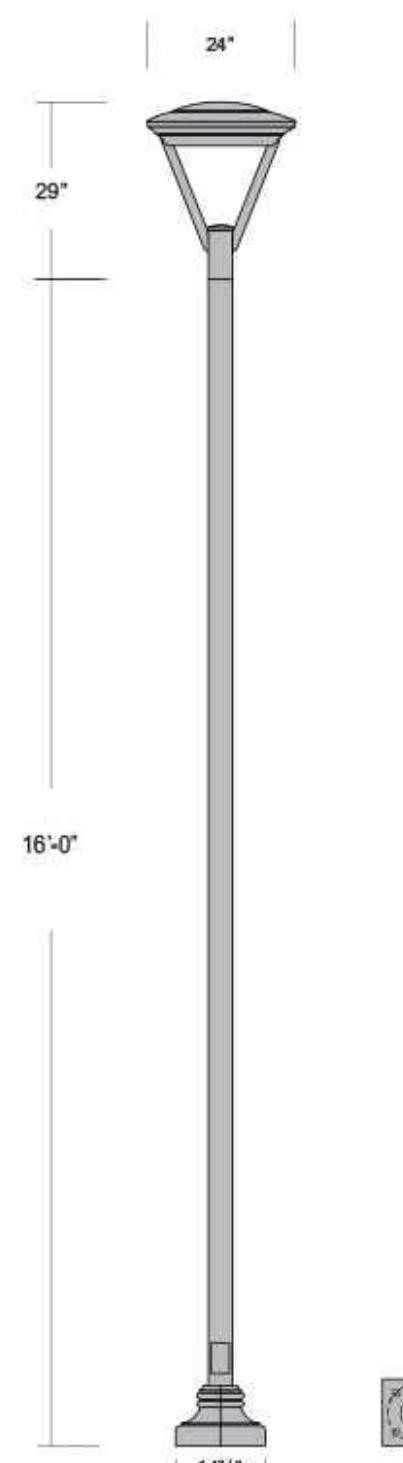
POLE: 4" OD Straight round aluminum pole .125wall with decorative 2 pc base cover.

ANCHOR BOLTS: (4) 1/4" x 24" x 3" hot dipped galvanized anchor bolts.

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory
All exposed hardware shall be stainless steel.

AREA LIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P4



ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available.
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type IV

OPTIONS: House side shield.

ARM: N/A

POLE: 4" OD Straight round aluminum pole .125wall with decorative 2 pc base cover.

ANCHOR BOLTS: (4) 1/4" x 24" x 3" hot dipped galvanized anchor bolts.

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory
All exposed hardware shall be stainless steel.

AREA LIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P5 13FT



ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available.
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type V

OPTIONS: N/A

ARM: N/A

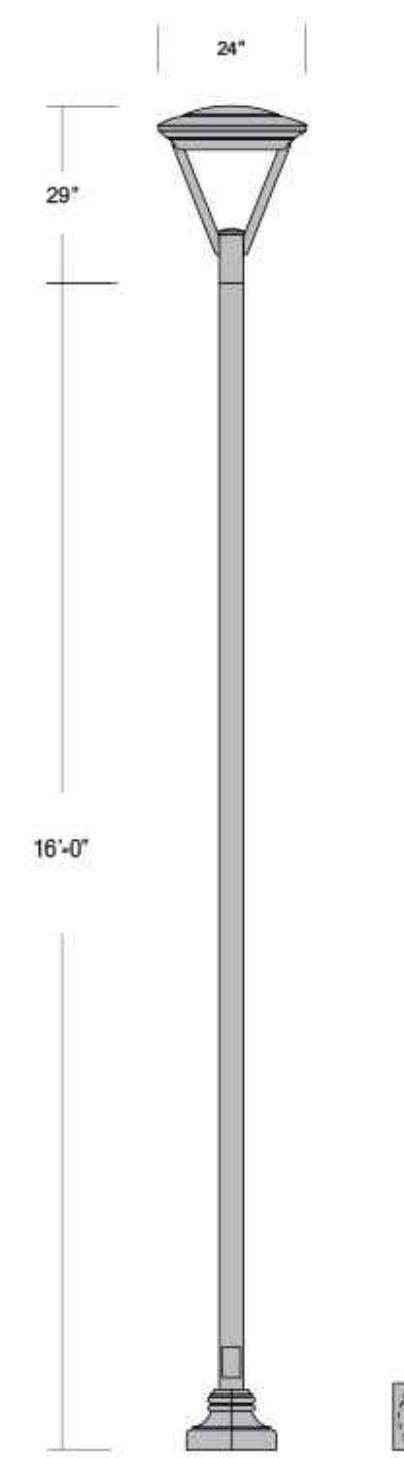
POLE: 4" OD Straight round aluminum pole .125wall with decorative 2 pc base cover.

ANCHOR BOLTS: (4) 1/4" x 24" x 3" hot dipped galvanized anchor bolts.

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory
All exposed hardware shall be stainless steel.

AREA LIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P5 16 FT



ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available.
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type V

OPTIONS: House side shield.

ARM: N/A

POLE: 4" OD Straight round aluminum pole .125wall with decorative 2 pc base cover.

ANCHOR BOLTS: (4) 1/4" x 24" x 3" hot dipped galvanized anchor bolts.

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
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ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

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Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type V

OPTIONS: House side shield.

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DIFFUSER: Injection molded lens

OPTICS: Type V

OPTIONS: N/A

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All exposed hardware shall be stainless steel.

10 Boston Street
Middleton, Massachusetts

Prepared for: Villebridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

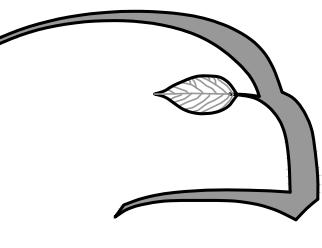
**Lighting
Specifications**

Scale: N/A

Sheet: **L2.2**



Base information provided electronically by:
Hancock Associates of Boston, MA



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Land Planning
Sagamore, MA
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info@hawkdesigninc.com

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Date: 8/22/23

Revisions:
Num. Date Description
1. 11/19/23 Per peer review comments

10 Boston Street
Middleton, Massachusetts

Prepared for: Villbridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM



**Planting
Specifications**

Scale: N/A

Sheet: LD1

Base information provided electronically by:
Hancock Associates of Boston, MA

General Landscape Notes:

1.1) CONTRACTOR REQUIREMENTS:
A) ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, FROM ALL FEDERAL, STATE AND LOCAL AUTHORITIES.

B) THE CONTRACTOR SHALL ARRANGE FOR AND OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR THE COMPLETE WORK SPECIFIED HEREIN AND SHOWN ON ALL THE DRAWINGS. THE CONTRACTOR SHALL PAY FOR ANY FEES NOT WAIVED.

1.2) UTILITIES:

A) LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE RELEVANT UTILITY COMPANIES PRIOR TO DOING ANY EXCAVATION ON THE SITE. IF ANY WORK IS TO BE DONE AROUND UNDERGROUND UTILITIES, THE APPROPRIATE AUTHORITY OF THAT UTILITY MUST BE NOTIFIED OF THE IMPENDING WORK.

B) UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY INSTALLATION. ADJUSTMENTS MAY BE NECESSARY IN THE FIELD TO ACCOMMODATE UTILITY LOCATIONS. REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

C) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES DONE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

1.3) PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS WORK COMPLETED BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINS, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

1.4) QUANTITIES: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES, AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANT IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF UNLABELED PLANTS IN PLAN FOR CLARIFICATION. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION.

1.5) APPLICABLE PLANT MATERIALS STANDARDS: ALL PLANT MATERIALS ARE TO COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANTING METHODS WILL BE IN ACCORDANCE WITH SITE-SPECIFIC REQUIREMENTS.

1.6) PLANT HARDINESS: ALL TREES AND SHRUBS SHALL BE SURVIVED GROWN WITHIN A USDA PLANT HARDINESS ZONE, WHICH IS THE SAME AS, OR COLDER THAN, THE ZONE IN WHICH THE PROJECT IS LOCATED.

1.7) PLANTING SEASONS: PLANTING SHALL ONLY OCCUR DURING SPECIFIED SEASONS. SPRING SEASON SHALL BE FROM MARCH 1 TO JUNE 15, FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 THROUGH NOVEMBER 15. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.

1.8) PLANT SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASON FOR THE SUBSTITUTION REQUEST. THE SUGGESTED ALTERNATIVE AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIALS SHALL STATE THE NAMES OF NURSERIES THAT HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.

1.9) THE LANDSCAPE ARCHITECT SHALL RESERVE THE RIGHT TO INSPECT ALL PLANT MATERIALS AT THE NURSERY, UPON SITE DELIVERY AND DURING INSTALLATION TO INSURE SPECIFICATIONS AND PROCEDURES ARE ADHERED TO.

1.10) MINIMUM SIZES: ALL PLANTS 3' OR GREATER IN HEIGHT OR SPREAD SHALL BE BALLED AND BURAPPED. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUMS ON WHICH THE PLANTS ARE TO BE JUDGED.

1.11) DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY, AND REPLACED WITH THE SAME PLANT & SIZE REGARDLESS OF SEASON, WEEKLY FROM THE JOB BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN AN UPDATED COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.

1.12) PLANT MATERIAL REMOVAL: NO EXISTING TREES SHALL BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT EXCEPT WHERE NOTED ON THE PLANS. CONTRACTORS WHO REMOVE EXISTING TREES WITHOUT WRITTEN APPROVAL WILL BE REQUIRED TO MAKE REMEDIES DETERMINED BY THE GOVERNING URBAN FORESTER OR EQUIVALENT AUTHORITY. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON THE PLANS.

1.13) ALL DISTURBED AREAS NOT TO RECEIVE PLANT MATERIALS ARE TO BE LOAMED AND SEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS. SEE SECTION 4.0.

1.14) LEDGE BOULDERS: IF DURING SITE EXCAVATION, LEDGE BOULDERS ARE AVAILABLE, THESE ARE TO BE STOCKPILED FOR USE IN EARTH BERM IF APPLICABLE, WITH HAWK DESIGN, INC. PRIOR TO INSTALLATION. THIS ITEM WILL ONLY APPLY IF SO SPECIFIED ON DRAWINGS. BOULDERS SIZES TO BE STOCKPILED WILL RANGE FROM TWO TO FIVE FEET IN DIAMETER. SEE APPROPRIATE DETAIL FOR INSTALLATION COORDINATION.

1.15) SLEEVES: LANDSCAPE OR SITE CONTRACTOR SHALL PLACE INDIVIDUAL SLEEVES FOR LIGHTING AND IRRIGATION UNDER ANY PROPOSED WALKWAY OR VEHICULAR ROADWAY PRIOR TO INSTALLATION. COORDINATE SLEEVE LOCATIONS WITH IRRIGATION AND LIGHTING CONTRACTORS PRIOR TO INSTALLATION.

1.16) DO NOT CLOSE OR OBSTRUCT ANY STREET, SIDEWALK, ALLEY OR PASSAGEWAY WITHOUT PRIOR NOTIFICATION AND PERMISSION. CONDUCT OPERATIONS AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE USE ORNAMENTALLY MADE OF ROADS, DRIVEWAYS, ALLEYS, SIDEWALKS OR OTHER FACILITIES NEAR ENOUGH TO THE WORK TO BE EFFECTED THEREBY.

Planting Materials:

2.1) PLANTING MATERIAL ITEMS IN SECTION 2.0 ARE TO BE INCORPORATED DURING PLANT INSTALLATION UNLESS OTHERWISE DEMELED UNNECESSARY IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. SEE SECTION 3.1.

MULCH - MULCH WILL BE DOUBLE-SHREDDED PINE BARK MULCH.

TREES AND SHRUBS SHALL RECEIVE AN EVEN 3" MULCH LAYER.

GROUNDCOVERS, PERENNIALS AND ANNUALS SHALL RECEIVE AN EVEN 2" MULCH LAYER.

MANURE - TO BE WELL ROTTED, ODOLESS, UNLEACHED COW MANURE, CONTAINING NOT MORE THAN 1.5% BEDDED MATERIALS SUCH AS STRAW, WOOD CHIPS OR SHAVINGS, AGED NOT LESS THAN TWO YEARS OLD.

HERBICIDE - A PRE-EMERGENCE WEED KILLER IS TO BE USED ON ALL LAWN AND PLANTING AREAS PRIOR TO INSTALLATION AS PER MANUFACTURERS SPECIFICATIONS. *HERBICIDES ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.

FERTILIZER - ALL TREES AND SHRUBS TO HAVE SLOW RELEASE PACKET OR PELLET PLACED INTO THE PLANT PIT WITH A MINIMUM ANALYSIS OF 10-10-10. ALL GROUNDCOVERS, PERENNIALS AND ANNUALS ARE TO RECEIVE A BROADCAST APPLICATION OF A 14-14-14 FERTILIZER 3 LB PR/100 SQ. FT. APPLY AS PER MANUFACTURERS INSTRUCTIONS. *FERTILIZERS ARE NOT TO BE APPLIED RESTRICTED CONSERVATION AREAS.

TOPSOIL: ACCEPTABLE TOPSOIL SHALL BE FERTILE, FRAGILE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER DANGEROUS MATTER OVER ONE INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT. IN SITUATIONS WHICH REQUIRE A CUSTOM TOPSOIL OR STRUCTURAL SOIL, THE SOIL MIXTURE SPECIFICATION WILL BE PROVIDED BY THE LANDSCAPE ARCHITECT.

SOIL AMENDMENTS: APPLY AS NECESSARY ACCORDING TO SOIL TEST RESULTS, AS PER MANUFACTURERS SPECIFICATIONS.

ANTI-DESIDCANT - "WILT PRUP" NCF OR EQUAL APPLY AS PER MANUFACTURERS SPECIFICATIONS.

Plant Installation:

3.1) SOIL TESTING: LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS PRIOR TO ANY PLANT INSTALLATION TO DETERMINE ANY NECESSARY AMENDMENTS TO THE EXISTING SOIL CONDITIONS FOR SEEDING AND PLANTING. THE ANALYSIS WILL ALSO BE REQUIRED FOR ESTABLISHING THE FERTILIZER PROGRAM REQUIRED. COORDINATE RESULTS AND PROVIDE WRITTEN RECOMMENDATIONS TO HAWK DESIGN, INC. 15 DAYS PRIOR TO INSTALLATION.

3.2) ALL PLANTS SHALL BE TRANSPORTED TO THE SITE IN COVERED TRUCKS, TARPAILIN COVERS SHALL BE UTILIZED TO PREVENT WIND DAMAGE OF LOAD.

3.3) DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS MOIST. DO NOT STORE PLANT MATERIAL ON PAVED AREAS. ROOTS OR BALLS SHALL BE PROTECTED FROM THE SUN OR DRYING WINDS. AS REQUIRED BY TEMPERATURE OR WIND CONDITIONS, APPLY ANTI-DESIDCANT EMULSION TO PREVENT DRYING OUT OF PLANT MATERIALS.

3.4) CONDITIONS FOR PLANT REJECTION:
A) REJECT PLANTS WHEN BALL OF EARTH SURROUNDING ROOTS HAS BEEN CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING.

B) WHEN BURLAP, STAVES AND ROPES REQUIRED IN CONNECTION WITH TRANSPLANTING HAVE BEEN DISPLACED PRIOR TO ACCEPTANCE.

C) WIND DAMAGED PLANT MATERIAL FROM POOR TARPAILIN COVER PROCEDURES ARE SUBJECT TO REJECTION.

3.5) ALL PLANT MATERIAL WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY, SHALL BE SET ON THE GROUND IN A SHADED LOCATION AND SHALL BE TEMPORARILY PROTECTED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. TEMPORARY WATERING OR IRRIGATION SHALL BE INCORPORATED AND REGULARLY CONDUCTED ON PLANTINGS IN HOLD AREAS.

3.6) IN CASE OF CONFLICTS DURING CONSTRUCTION WITH UTILITIES, ROCK MATERIALS, TREE ROOTS OR OTHER OBSTRUCTIONS FOR THE EXCAVATION OF SHRUB BEDS AND TREE PITS, CONTACT LANDSCAPE ARCHITECT FOR APPROVED ALTERNATE LOCATIONS.

3.7) SOIL PERMEABILITY: TEST DRAINAGE OF PLANTING BEDS AND PITS BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF WATER FOR MORE THAN 24 HOURS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

3.8) SOIL EXCAVATIONS:
A) EXCAVATE TREE PITS AND SHRUB BEDS TO DEPTHS REQUIRED BY PLANTING DETAILS. ALL PITS SHALL BE CIRCULAR IN OUTLINE, EXCEPT FOR WHOLE BEDS. SEE APPROPRIATE PLANTING DETAILS.

B) SOIL EXCAVATIONS FOR BALLED & BURLAP AND CONTAINER PLANTINGS MUST BE NO LESS THAN 2X ROOT BALL DIAMETER. SEE PLANTING DETAILS. IF QUESTIONABLE SUBSURFACE SOIL CONDITIONS EXIST SUCH AS POOR DRAINAGE CONDITIONS, RUBBLE OR OBSTRUCTIONS, REPORT TO THE LANDSCAPE ARCHITECT AND CONSTRUCTION MANAGER BEFORE PLANTING.

3.9) GRADING:
A) VERIFY GRADES PRIOR TO PLANTING. THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLANT PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL GRADING.

B) POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM AND AROUND BUILDINGS (REFER TO ENGINEERS GRADING PLANS). REPORT ANY CONFLICTS TO HAWK DESIGN, INC. PRIOR TO INSTALLATION.

C) FINISH GRADE OF PLANTINGS SHALL BE EQUIVALENT TO FORMER EXISTING GRADE OF PLANT IN THE NURSERY.

3.10) BALLED AND BURLAPED (B&B) MATERIALS:
A) CUT WIRE BASKETS ONCE IN THE PLANT PIT AND PEEL WIRE BACK.

B) TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL.

Plant Installation Cont'd

3.11) CONTAINER GROWN STOCK: SHALL BE REMOVED FROM CONTAINER BY CUTTING CONTAINER AWAY TO AVOID ROOT DAMAGE TO PLANT ROOT SYSTEM. IF PLANT ROOT IS BOUND, SLICE ROOT BALLS APPROXIMATELY 2" DEEP WITH KNIFE OR SHARP SPADE.

3.12) DO NOT USE MUDDY OR FROZEN SOIL TO BACKFILL PLANTINGS.

3.13) WATERING: THOROUGHLY WATER UNTIL SOIL IS SATURATED AROUND ALL TREES AND SHRUBS AFTER PLANTING AND THROUGHOUT THE TIME PERIOD UNTIL FINAL ACCEPTANCE FROM CLIENT. DURING DRY CONDITIONS, WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT-FREE CONDITION.

3.14) PRUNING: TREES SHALL BE PRUNED TO BALANCE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR NATURAL CHARACTER AND TYPICAL GROWTH HABIT. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SUCKER GROWTH. ALL CUTS TO BE FLUSH WITH TRUNK. DO NOT CUT A LEADER. THE LANDSCAPE ARCHITECT WILL REJECT ALL PLANTS DISFIGURED BY POOR PRUNING PRACTICES. ALL PRUNING CUTS SHALL REMAIN UNPAINTED.

3.15) STAKING AND GUYING: ALL TREES TO BE STAKED AND GUYED WITHIN 48 HOURS OF PLANTING. METHODS AND MATERIALS FOR STAKING AND GUYING ARE ILLUSTRATED IN INDIVIDUAL PLANTING DETAILS. NEATLY FLAG ALL GUY WIRES WITH ROT RESISTANCE YELLOW TREE MARKING RIBBON.

3.16) STAKE OUT PLANT LOCATIONS: PRIOR TO PLANTING THE CONTRACTOR SHALL LAYOUT THE EXTENT OF THE PLANT BEDS AND PROPOSED LOCATIONS FOR B&B PLANTS FOR REVIEW BY THE OWNER AND LANDSCAPE ARCHITECT.

3.17) PLANTING FIELD ADJUSTMENTS:
A) THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES.

B) LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS OR UNDER BUILDING OVERHANGS. NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES IN PLANTING PLAN VS. FIELD CONDITIONS.

C) SHRUBS PLANTED NEAR HVAC UNITS ARE TO BE LOCATED SO THAT SHRUBS AT Maturity WILL MAINTAIN ONE FOOT (1') AIRSPACE BETWEEN THE UNIT AND THE PLANT. ANY PLANTING SHOWN ADJACENT TO CONDENSER UNITS SHALL BE PLANTED TO SCREEN THE UNITS. SHOULD THE CONDENSER UNITS BE INSTALLED IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE PLAN, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL THE MATERIAL AROUND THE CONDENSERS AND ADJUST THE OTHER PLANTING.

3.18) PLANT BED EDGES/LINES: GROUPS OF SHRUBS, PERENNIALS AND GROUNDCOVERS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE, FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN 4 FEET OF PLANT BEDS SHALL SHARE THE SAME MULCH BEDS.

3.19) A.D.A. - THE AMERICAN DISABILITIES ACT STANDARDS REQUIRE THAT A 7 FOOT VERTICAL CLEARANCE BE MAINTAINED FROM TREE BRANCHES TO FINISHED GRADE WHERE PEDESTRIANS SIDEWALKS AND TRAILORS ARE LOCATED. THE CONTRACTOR IS TO ADJUST TREE PLANTINGS IN FIELD TO SLIGHTLY MINIMIZE BRANCH OVERHANG AND COMPLY WITH THE A.D.A. ACT.

3.20) TREE SPACING MINIMUMS: TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM RETAINING WALLS AND WALKS WITHIN THE PROJECT. IF A CONFLICT ARISES BETWEEN ACTUAL SIZE OF AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.

3.21) CONDITIONS FOR PLANT REJECTION:
A) REJECT PLANTS WHEN BALL OF EARTH SURROUNDING ROOTS HAS BEEN CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING.

B) WHEN BURLAP, STAVES AND ROPES REQUIRED IN CONNECTION WITH TRANSPLANTING HAVE BEEN DISPLACED PRIOR TO ACCEPTANCE.

C) WIND DAMAGED PLANT MATERIAL FROM POOR TARPAILIN COVER PROCEDURES ARE SUBJECT TO REJECTION.

3.22) CLEANING PLANTING BEDS: ALL PLANTING BEDS SHALL BE CLEANED OF ALL DEBRIS, SOIL PILES AND CONTAINERS DAILY. WHERE EXISTING GRASS AREAS HAVE BEEN DAMAGED OR SCARRED DURING PLANTING OPERATIONS, THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS AT HIS EXPENSE.

3.23) CLEAN PAVED AREAS UTILIZED FOR HAULING OR EQUIPMENT STORAGE AT END OF EACH WORKDAY.

3.24) MAINTAIN VEHICLES AND EQUIPMENT IN CLEAN CONDITION TO PREVENT SOILING OF ROADS, WALKS OR OTHER PAVED OR SURFACED AREAS.

3.25) REMOVE PROTECTIVE BARRIERS AND WARNING SIGNS AT TERMINATION OF LAWN ESTABLISHMENT.

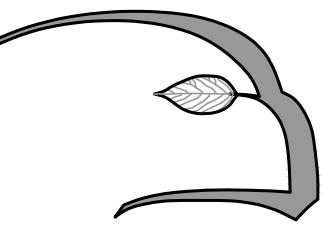
3.26) GUARANTEE: SEE SECTION 5.0

3.27) GUARANTEE SHALL BEGIN UPON DATE OF FINAL ACCEPTANCE FROM OWNER AND WILL CONTINUE FOR ONE YEAR.

Maintenance:

5.1) MAINTENANCE DURING INSTALLATION: MAINTENANCE OPERATIONS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHOWN COMPATIBLE WITH THE PLANTING ACCEPTANCE AND THEN FOR A PERIOD OF 12 MONTHS. PLANTS SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION BY WATERING, PRUNING, SPRAYING, WEEDING, ETC. MAINTENANCE OPERATIONS OF PLANTS SHALL BE PERFORMED BY THE LANDSCAPE ARCHITECT. PLANT SAUCERS AND BEDS SHALL BE KEPT FREE OF WEEDS, GRASS AND OTHER UNDESIRABLE VEGETATION. PLANTS SHALL BE INSPECTED AT LEAST ONCE PER WEEK BY THE CONTRACTOR DURING THE INSTALLATION PERIOD AND ANY NEEDED MAINTENANCE IS TO BE PERFORMED PROMPTLY.

5.2) GR



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Land Planning
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HAWK DESIGN, INC. 2023
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Date: 8/22/23

Revisions:
Num. Date Description
1. 11/9/23 Per peer review comments

10 Boston Street
Middleton, Massachusetts

Prepared for: Villbridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

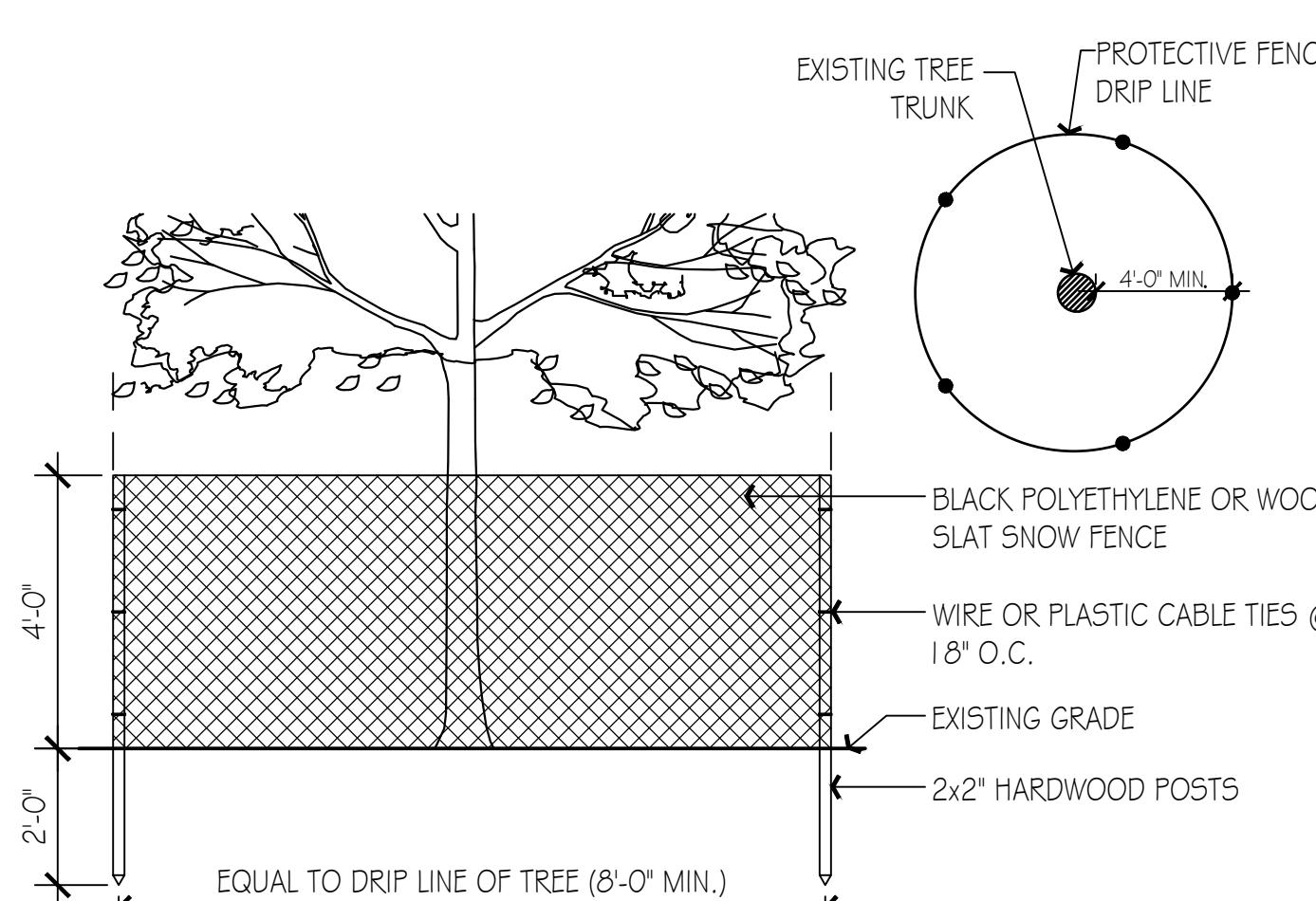
**Planting Details
and
Plant Schedule**

Scale: As Noted

Sheet: LD2



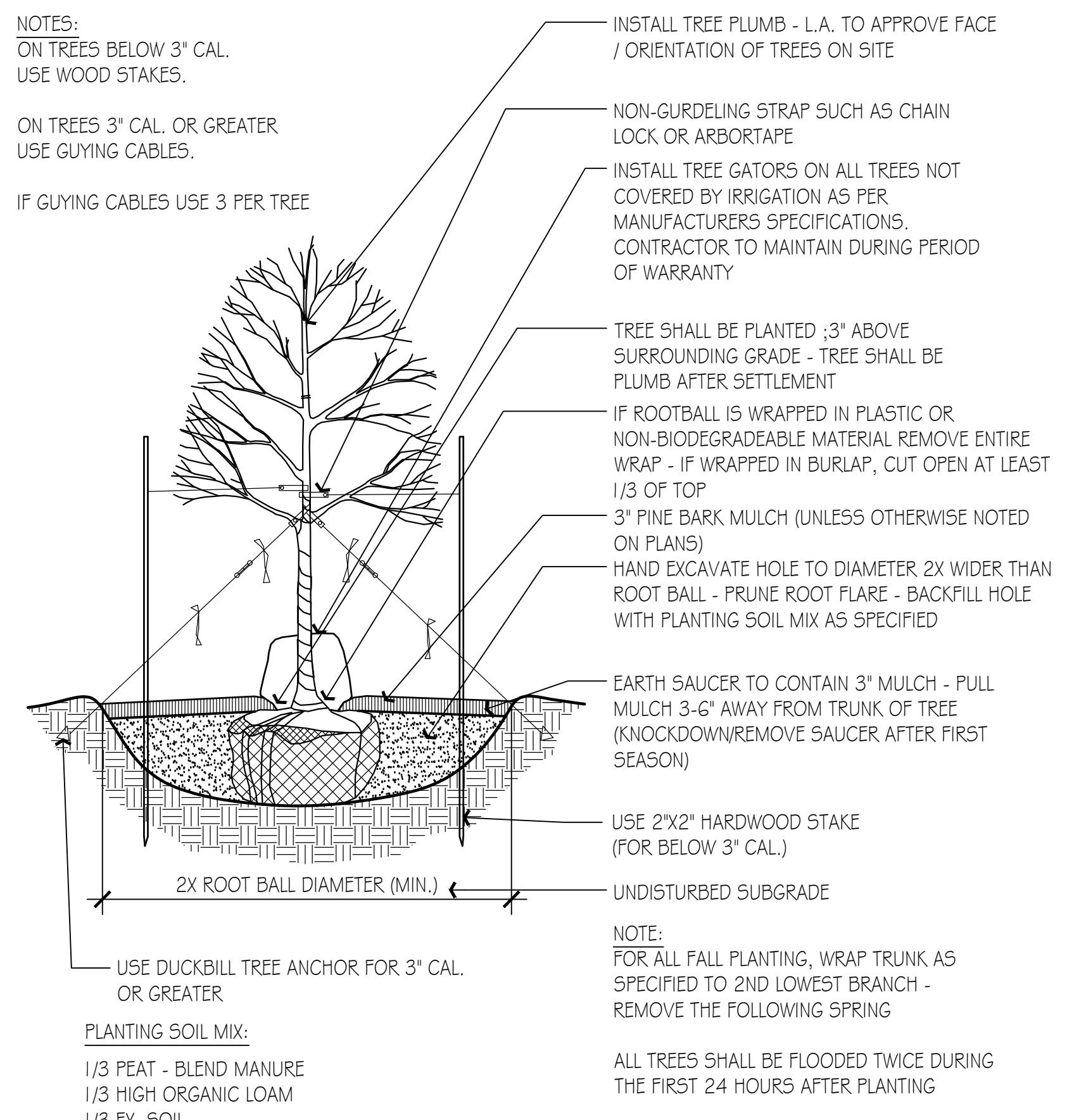
Base information provided electronically by:
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NOTES:
1. PROTECTIVE FENCE TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
2. NO TIE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
4. DO NOT NAIL BOARDS OR FENCING TO TREES DURING CONSTRUCTION.
5. ANY EXCAVATING WITHIN DRIFLINE MUST BE APPROVED BY LANDSCAPE ARCHITECT AND MUST BE HAND-DUG. CONTRACTOR SHALL NOT CUT ANY ROOTS AND/OR BRANCHES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
6. ROOTS EXPOSED AND/OR DAMAGED DURING GRADING & CONSTRUCTION OPERATIONS SHALL BE CUT OFF CLEANLY INSIDE THE EXPOSED OR DAMAGED AREA AND TOPSOIL PLACED OVER THE ROOTS IMMEDIATELY. FEEDER ROOTS SHALL NOT BE CUT IN AN AREA INSIDE DRIP LINE OF THE TREE BRANCHES.
7. ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
8. STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
9. INSPECT FENCE ON PERIODIC BASIS AND REPAIR DAMAGE IMMEDIATELY.

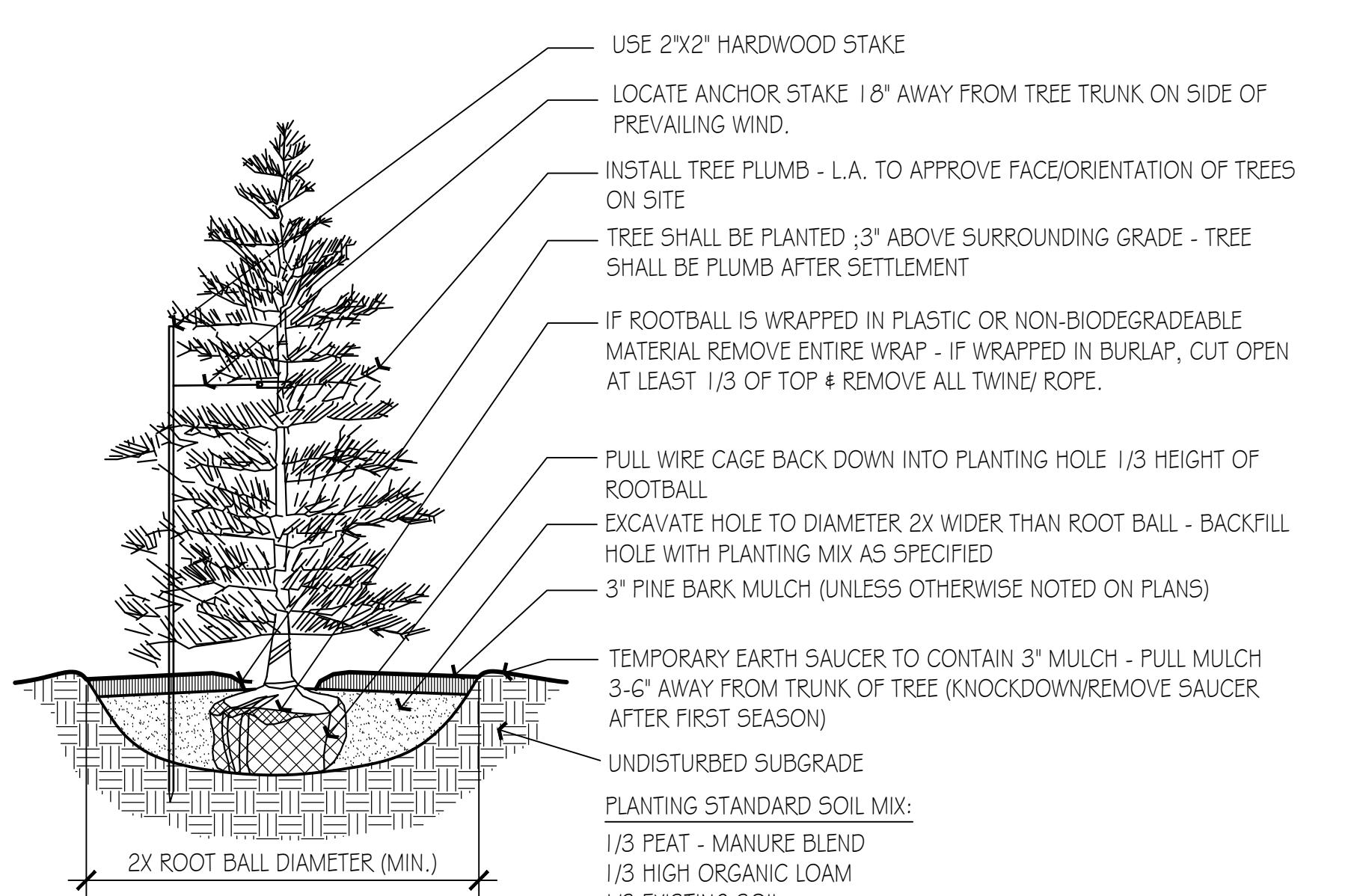
1 Tree Protection

Scale: N.T.S.



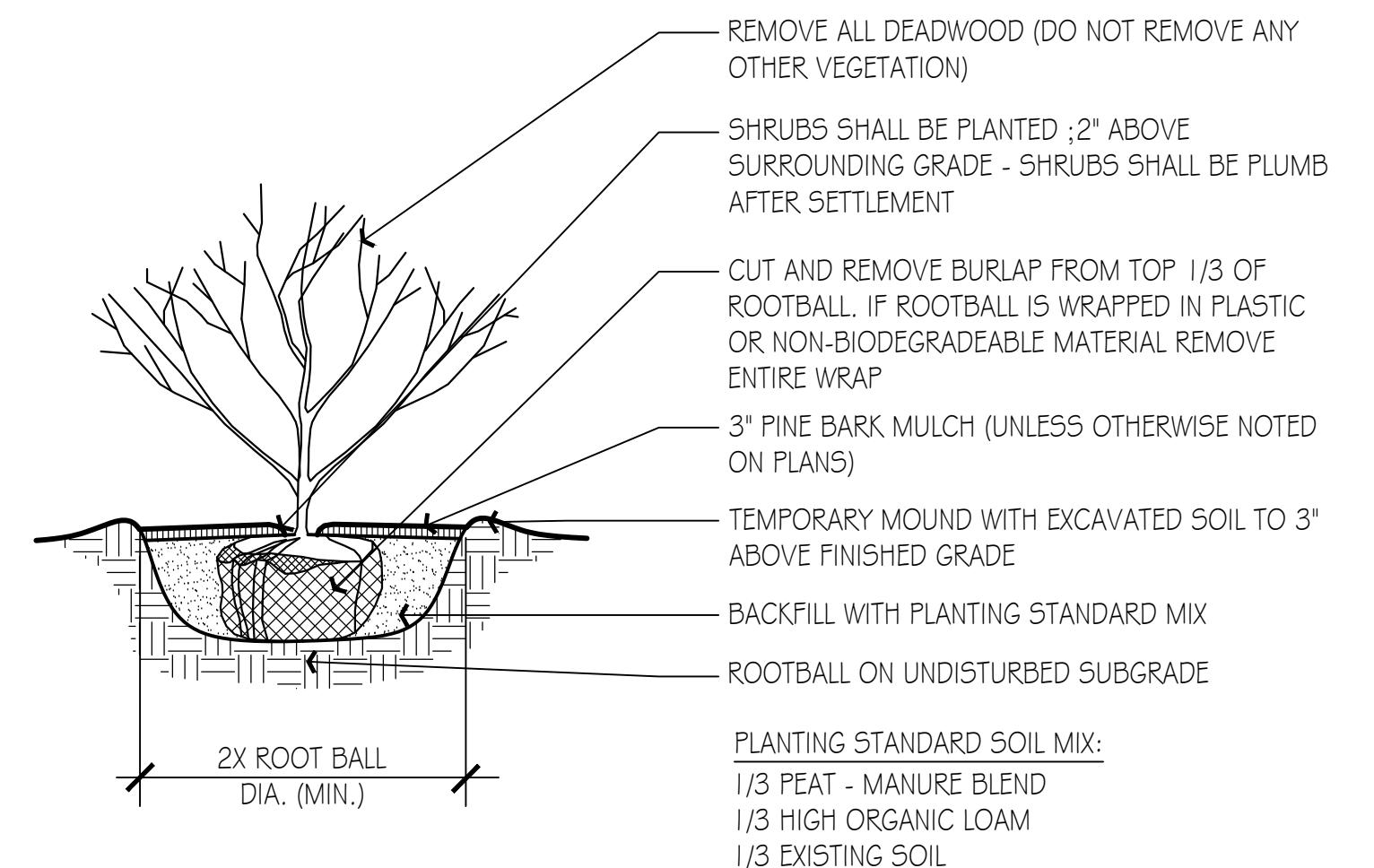
2 Deciduous Tree Planting

Scale: N.T.S.



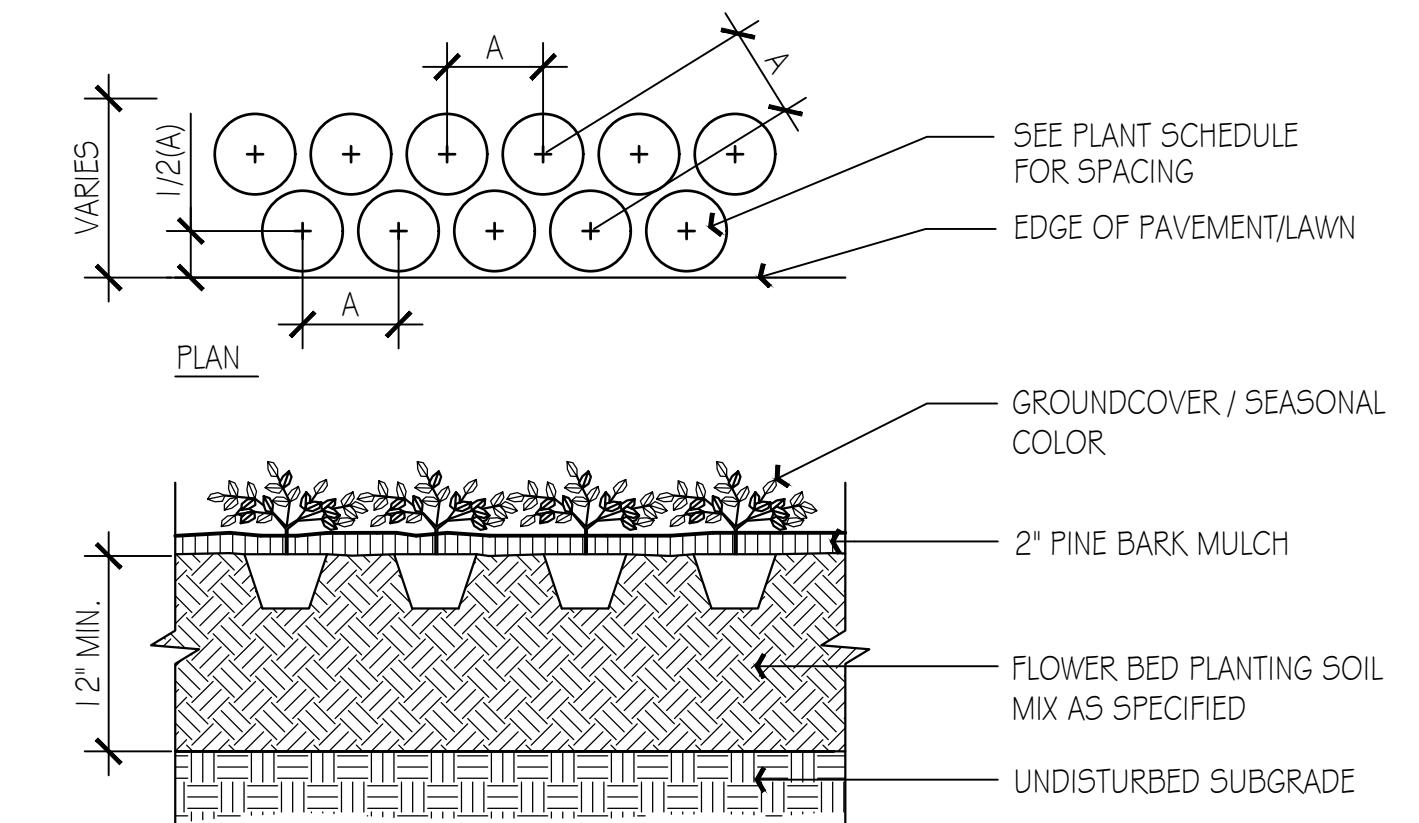
3 Coniferous Tree Planting

Scale: N.T.S.



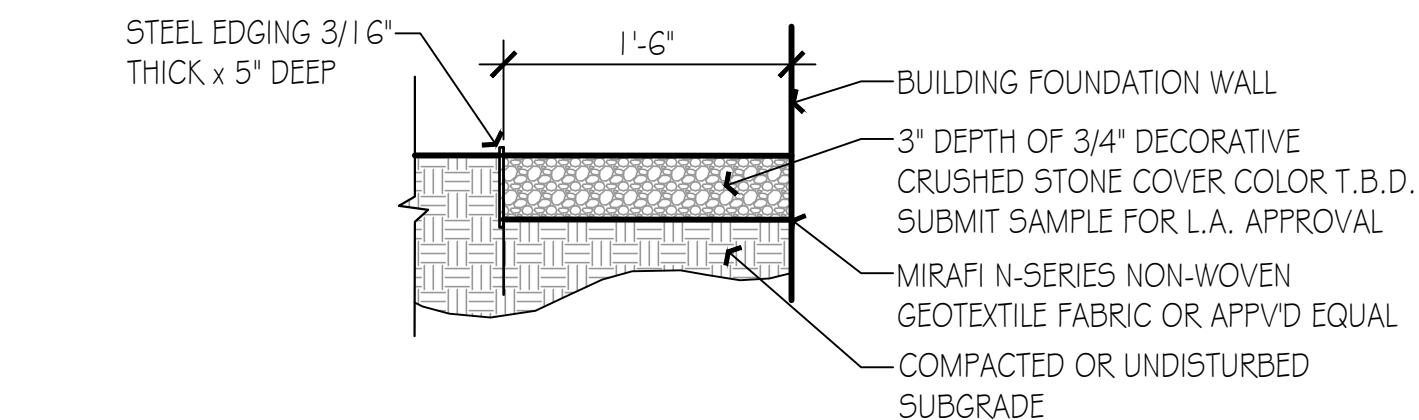
4 Shrub Planting

Scale: N.T.S.



5 Perennial, Groundcover & Seasonal Color Planting

Scale: N.T.S.



6 Metal Edged Crushed Stone Fire Protection Strip

Scale: N.T.S.

SCHEDULE OF TOPSOILS & ADDITIVES

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	1 2"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	1 2"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PEATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 1/2-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOD & SEED	6"	6" SCREENED LOAM
PITS/TREE WELLS "STANDARD MIX" FOR BACKFILL	1 2"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANT SIZE
TREES						
AR-RS	7	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	B B B	3-3.5" CAL.	
GT-S	1	Gleditsia triacanthos 'Inermis' 'Shademaster'	Shademaster Honey Locust	B B B	3-3.5" CAL.	
PA-B	4	Platanus x acerifolia 'Bloodgood'	Bloodgood London Plane Tree	B B B	3-3.5" CAL.	
UA-P	6	Ulmus americana 'Princeton'	Princeton American Elm	B B B	3-3.5" CAL.	
ZS-GV	1	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	B B B	3-3.5" CAL.	
EVERGREEN TREES						
TO-HW	26	Thuya occidentalis 'Hetz Wintergreen'	Hetz Wintergreen Arborvitae	B B B	7-8" HT.	
FLOWERING TREES						
CF-CP	1	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	B B B	2-3.5"-CAL.	
PS-C	4	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	B B B	2-2.5"-CAL.	
SHRUBS						
CA-H	3	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	Cont.	18-24" HT.	
CS-K	7	Cornus sericea 'Kelseyi'	Kelseys Dwarf Red Twig Dogwood	Cont.	18-24" HT.	
DP	38	Deschampsia flexuosa	Wavy Hair Grass	2 GAL		
EF-EG	17	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus	Cont.	18-24" HT.	
IC-GL	32	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	B B B	3-3.5" HT.	
IC-ST	22	Ilex crenata 'Soft Touch'	Soft Touch Japanese Holly	Cont.	18-24" SPD.	
IG-S	30	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	Cont.	2-2.5" HT.	
JC-S	3	Juniperus chinensis 'Spartan'	Spartan Juniper	B B B	4-4.5" HT.	
JH-BH	22	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	Cont.	18-24" SPD.	
PJ-C	5	Pieris japonica 'Cavatina'	Cavatina Japanese Pieris	Cont.	2-2.5" HT.	
PO-C	2	Physocarpus opulifolius 'Copperleaf'	Copperleaf Ninebark	B B B	3-3.5" HT.	
RH-CW	16	Rhododendron x 'Cunningham's White'	Cunningham White Rhododendron	B B B	2-2.5" HT.	
RH-RG	7	Rhododendron x 'Purple Gem'	Purple Gem Rhododendron	Cont.	18-24" SPD.	
RH-PIM	8	Rhododendron x 'P.J.M.'	P.J.M. Rhododendron	B B B	2-2.5" HT.	
RH-S	7	Rhododendron x 'Scintillation'	Scintillation Rhododendron	B B B	2-2.5" HT.	
SS-SO	28	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	2 GAL		
TM-H	12	Taxus x media 'Hicksii'	Hicks Yew	B B B	4-4.5" HT.	
TM-L	23	Taxus x media 'Talisman'	Talisman Angle-Japanese Yew	B B B	2-2.5" SPD.	
TO-EG	15	Thuya occidentalis 'Smaragd'	Emerald Green Arborvitae	B B B	4-4.5" HT.	
VD-BM	15	Vitis vinifera 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	B B B	4-4.5" HT.	
WF-MM	17	Weigela florida 'My Monet'	My Monet Weigela	Cont.	15-18" SPD.	
WF-WR	24	Weigela florida 'Wine & Roses'	Wine & Roses Weigela	B B B	2-2.5" HT.	
PERENNIALS / GROUND COVERS						
HE-PM	28	Hemerocallis x 'Pardon Me'	Pardon Me Daylily	4 QT.		
LM-V	26	Liriopis muscari 'Variegata'	Variegated Lilyturf	4 QT.		

Base information provided electronically by:
Hancock Associates of Boston, MA

10 BOSTON STREET
MIDDLETON, MASSACHUSETTS

LANDSCAPE PERMIT SUBMISSION SET
REVISION #1

LIST OF DRAWINGS:

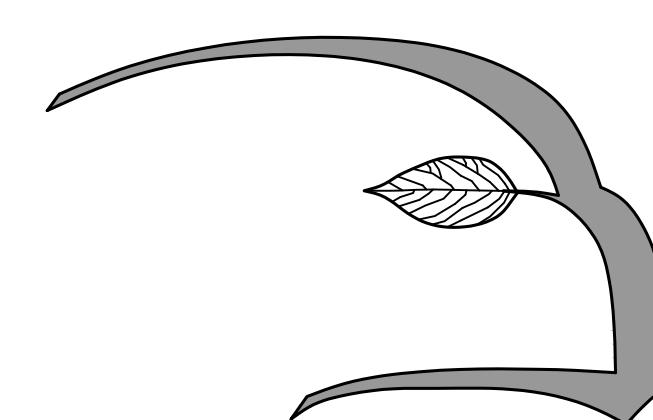
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L2.1	LIGHTING PLAN	11/9/23
L2.2	LIGHTING SPECIFICATIONS	11/9/23
LD1	PLANTING SPECIFICATIONS	11/9/23
LD2	PLANTING DETAILS AND PLANT SCHEDULE	11/9/23

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121 E. BERKLEY STREET, 4TH FLOOR
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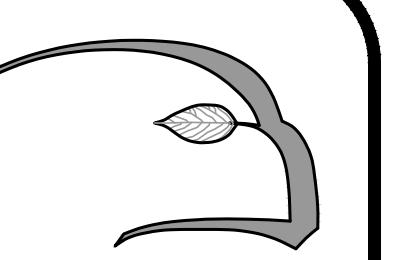
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PREPARED BY:

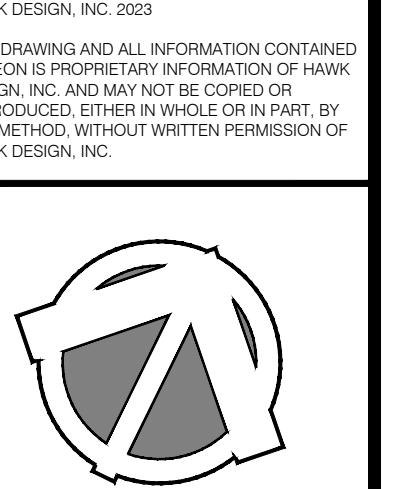


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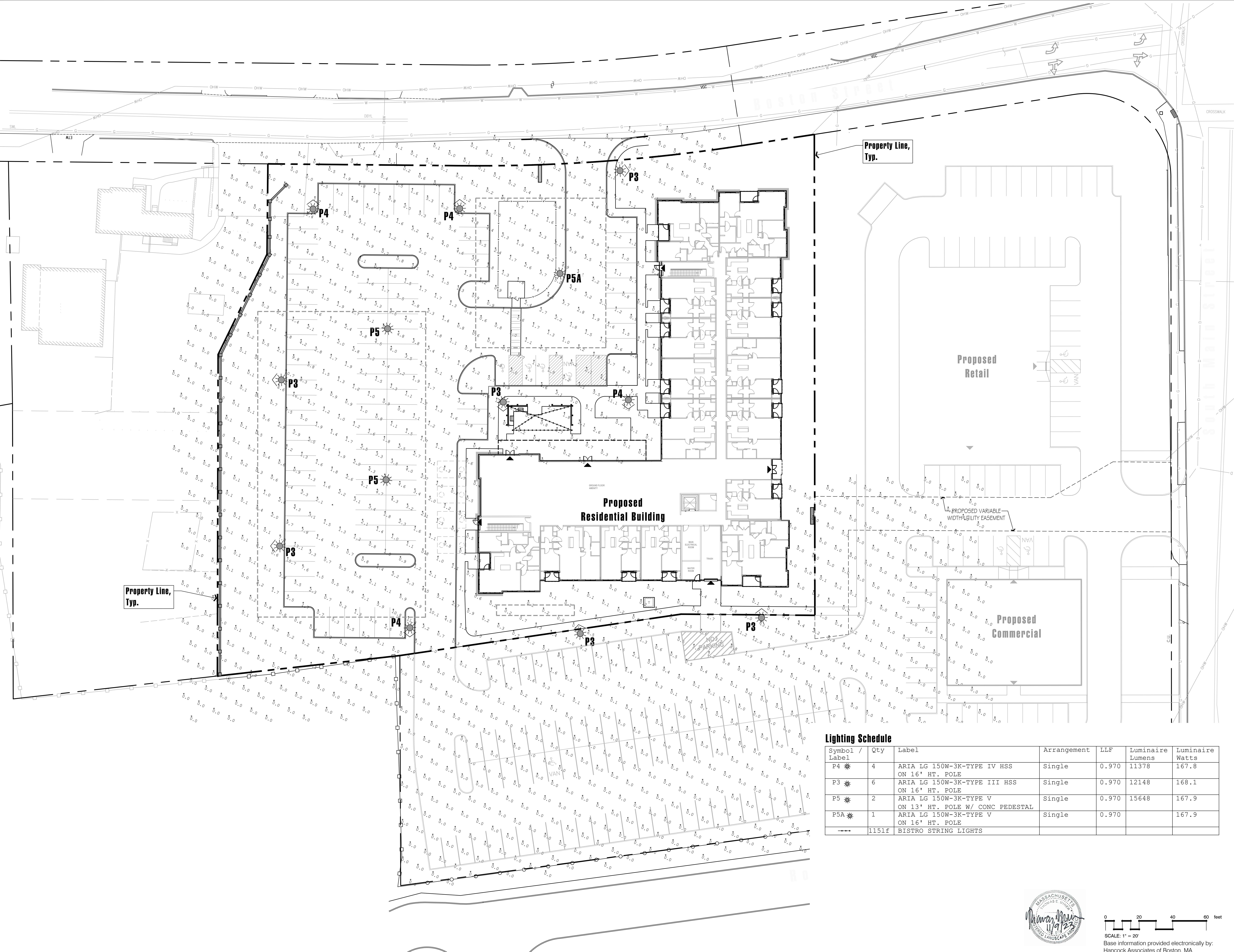
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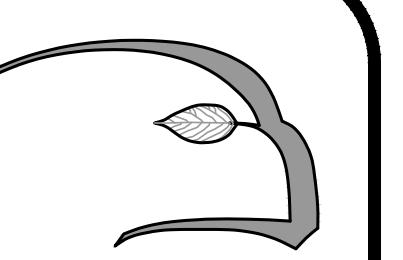
Revisions:
Num. Date Description
1. 11/9/23 Per peer review comments



10 Boston Street
Middleton, Massachusetts

Prepared for: Villebridge Development LLC of Needham, MA

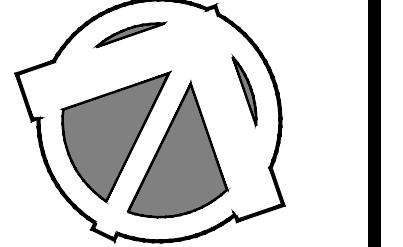




Hawk Design, Inc.
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Sagamore, MA
508-833-8800
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HAWK DESIGN, INC. 2023

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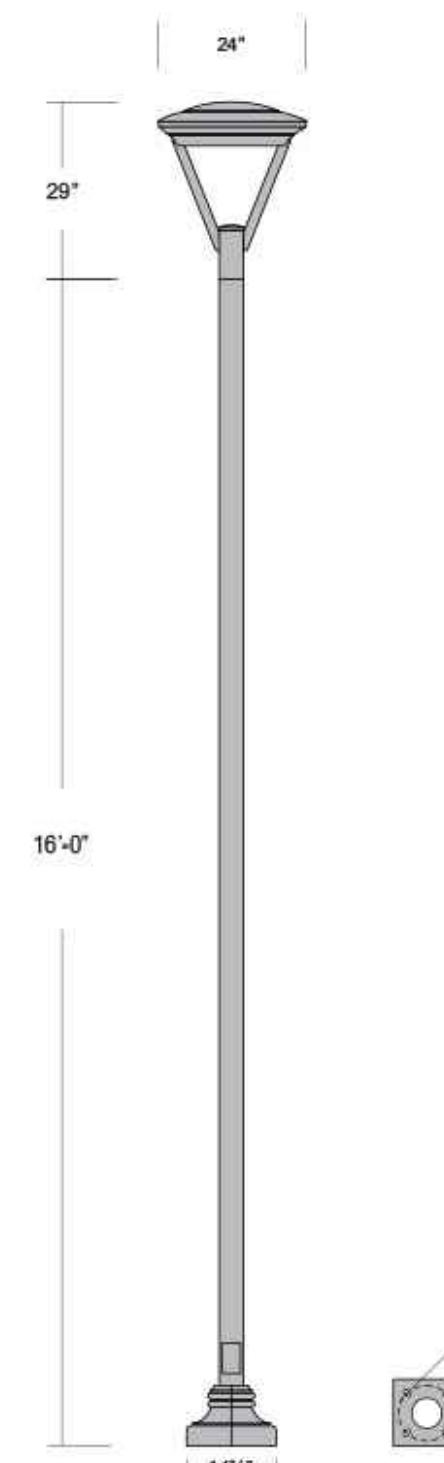


Date: 8/22/23

Revisions:
Num. Date Description
1. 11/9/23 Per peer review comments

AREA LIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P3



ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available.
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type III

OPTIONS: House side shield.

ARM: N/A

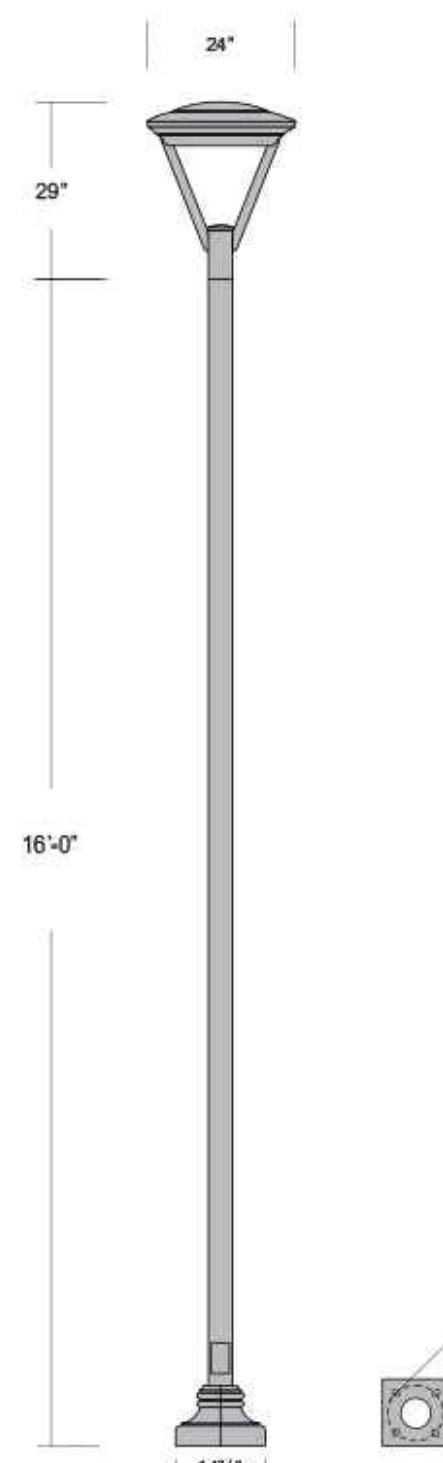
POLE: 4" OD Straight round aluminum pole .125wall with decorative 2 pc base cover.

ANCHOR BOLTS: (4) 1/4" x 24" x 3" hot dipped galvanized anchor bolts.

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory
All exposed hardware shall be stainless steel.

AREA LIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P4



ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available.
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type IV

OPTIONS: House side shield.

ARM: N/A

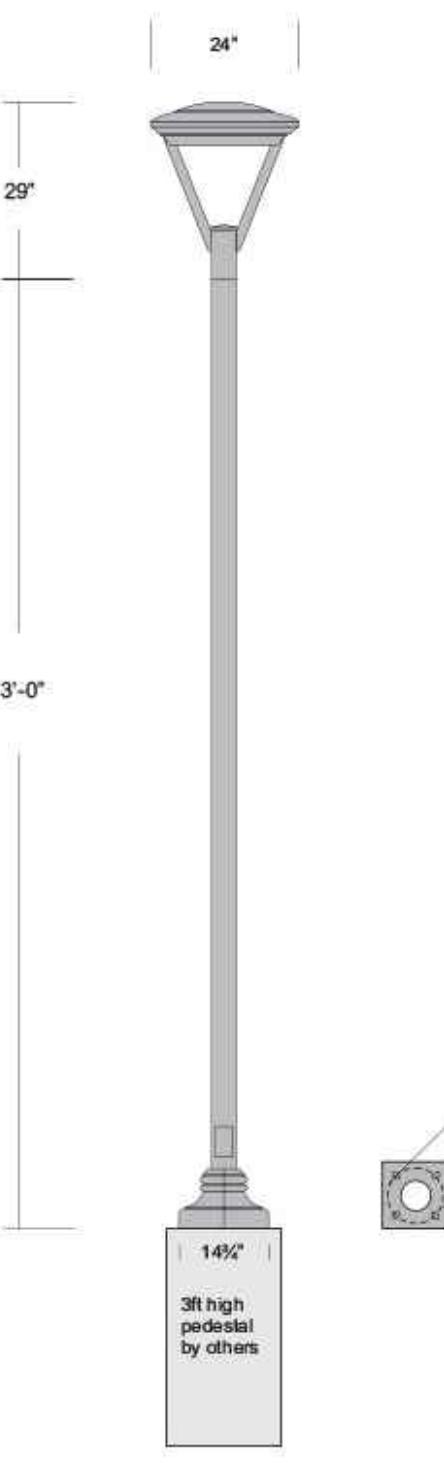
POLE: 4" OD Straight round aluminum pole .125wall with decorative 2 pc base cover.

ANCHOR BOLTS: (4) 1/4" x 24" x 3" hot dipped galvanized anchor bolts.

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory
All exposed hardware shall be stainless steel.

AREA LIGHTING | POLEMOUNT

PROJECT: VILLEBRIDGE MIDDLETON TYPE: P5 13FT



ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available.
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type V

OPTIONS: N/A

ARM: N/A

POLE: 4" OD Straight round aluminum pole .125wall with decorative 2 pc base cover.

ANCHOR BOLTS: (4) 1/4" x 24" x 3" hot dipped galvanized anchor bolts.

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory
All exposed hardware shall be stainless steel.

Post Mount Site Light Type P3

ARIA LG SERIES

FEATURES + BENEFITS

- Industry leading LED systems
- High efficiency & energy savings
- Environmentally friendly
- Reliable & low-maintenance
- 5-year limited warranty
- UL Listed electrical components
- Suitable for wet conditions

SPECIFICATIONS

LUMINAIRE: All aluminum construction

LIGHT SOURCE: 150W LED 3000K

DRIVER: Electronic LED Driver, 120V-277V, 480V Available.
Dimming Leads Optional 0-10V

DIFFUSER: Injection molded lens

OPTICS: Type V

OPTIONS: House side shield.

ARM: N/A

POLE: 4" OD Straight round aluminum pole .125wall with decorative 2 pc base cover.

ANCHOR BOLTS: (4) 1/4" x 24" x 3" hot dipped galvanized anchor bolts.

FINISH: Powder coat. Standard colors are Black, White, Dark Bronze, and Silver.
Custom Colors and RAL Colors Available. Consult Factory
All exposed hardware shall be stainless steel.

CATALOG # ARIA LG-150W-3K-SMT-TYPE III-HSS/SRAP4-16-AB01-COLOR

APPROVED BY _____ DATE: _____

ECHO LIGHTING, INC.
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of Outdoor Lighting

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5618 E. Washington Blvd.
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www.echolighting.com

Post Mount Site Light Type P5A

Post Mount Site Light Type P4

Post Mount Site Light Type P5

10 Boston Street
Middleton, Massachusetts
Prepared for: Villebridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

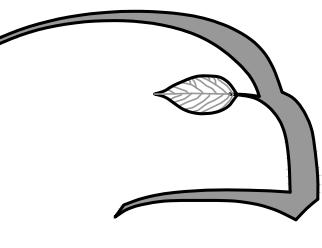
**Lighting
Specifications**

Scale: N/A

Sheet: **L2.2**



Base information provided electronically by:
Hancock Associates of Boston, MA



Hawk Design, Inc.
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Land Planning
Sagamore, MA
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HAWK DESIGN, INC. 2020

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Date: 8/22/23

Revisions:
Num. Date Description
1. 11/19/23 Per peer review comments

10 Boston Street
Middleton, Massachusetts

Prepared for: Villbridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM



Planting
Specifications

Scale: N/A

Sheet: LD1

Base information provided electronically by:
Hancock Associates of Boston, MA

General Landscape Notes:

1.1) CONTRACTOR REQUIREMENTS:
A) ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, FROM ALL FEDERAL, STATE AND LOCAL AUTHORITIES.

B) THE CONTRACTOR SHALL ARRANGE FOR AND OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR THE COMPLETE WORK SPECIFIED HEREIN AND SHOWN ON ALL THE DRAWINGS. THE CONTRACTOR SHALL PAY FOR ANY FEES NOT WAIVED.

1.2) UTILITIES:

A) LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE RELEVANT UTILITY COMPANIES PRIOR TO DOING ANY EXCAVATION ON THE SITE. IF ANY WORK IS TO BE DONE AROUND UNDERGROUND UTILITIES, THE APPROPRIATE AUTHORITY OF THAT UTILITY MUST BE NOTIFIED OF THE IMPENDING WORK.

B) UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY INSTALLATION. ADJUSTMENTS MAY BE NECESSARY IN THE FIELD TO ACCOMMODATE UTILITY LOCATIONS. REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

C) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES DONE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

1.3) PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS WORK COMPLETED BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINS, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

1.4) QUANTITIES: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES, AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANT IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF UNLABELED PLANTS IN PLAN FOR CLARIFICATION. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION.

1.5) APPLICABLE PLANT MATERIALS STANDARDS: ALL PLANT MATERIALS ARE TO COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANTING METHODS WILL BE IN ACCORDANCE WITH SITE-SPECIFIC REQUIREMENTS.

1.6) PLANT HARDINESS: ALL TREES AND SHRUBS SHALL BE SURVIVED GROWN WITHIN A USDA PLANT HARDINESS ZONE, WHICH IS THE SAME AS, OR COLDER THAN, THE ZONE IN WHICH THE PROJECT IS LOCATED.

1.7) PLANTING SEASONS: PLANTING SHALL ONLY OCCUR DURING SPECIFIED SEASONS. SPRING SEASON SHALL BE FROM MARCH 1 TO JUNE 15, FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 THROUGH NOVEMBER 15. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.

1.8) PLANT SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASON FOR THE SUBSTITUTION REQUEST. THE SUGGESTED ALTERNATIVE AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIALS SHALL STATE THE NAMES OF NURSERIES THAT HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.

1.9) THE LANDSCAPE ARCHITECT SHALL RESERVE THE RIGHT TO INSPECT ALL PLANT MATERIALS AT THE NURSERY, UPON SITE DELIVERY AND DURING INSTALLATION TO INSURE SPECIFICATIONS AND PROCEDURES ARE ADHERED TO.

1.10) MINIMUM SIZES: ALL PLANTS 3' OR GREATER IN HEIGHT OR SPREAD SHALL BE BALLED AND BURAPPED. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUMS ON WHICH THE PLANTS ARE TO BE JUDGED.

1.11) DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY, AND REPLACED WITH THE SAME PLANT & SIZE REGARDLESS OF SEASON, WEEKLY FROM THE JOB BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN AN UPDATED COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.

1.12) PLANT MATERIAL REMOVAL: NO EXISTING TREES SHALL BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT EXCEPT WHERE NOTED ON THE PLANS. CONTRACTORS WHO REMOVE EXISTING TREES WITHOUT WRITTEN APPROVAL WILL BE REQUIRED TO MAKE REMEDIES DETERMINED BY THE GOVERNING URBAN FORESTER OR EQUIVALENT AUTHORITY. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON THE PLANS.

1.13) ALL DISTURBED AREAS NOT TO RECEIVE PLANT MATERIALS ARE TO BE LOAMED AND SEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS. SEE SECTION 4.0.

1.14) LEDGE BOULDERS: IF DURING SITE EXCAVATION, LEDGE BOULDERS ARE AVAILABLE, THESE ARE TO BE STOCKPILED FOR USE IN EARTH BERM IF APPLICABLE, WITH HAWK DESIGN, INC. PRIOR TO INSTALLATION. THIS ITEM WILL ONLY APPLY IF SO SPECIFIED ON DRAWINGS. BOULDERS SIZES TO BE STOCKPILED WILL RANGE FROM TWO TO FIVE FEET IN DIAMETER. SEE APPROPRIATE DETAIL FOR INSTALLATION COORDINATION.

1.15) SLEEVES: LANDSCAPE OR SITE CONTRACTOR SHALL PLACE INDIVIDUAL SLEEVES FOR LIGHTING AND IRRIGATION UNDER ANY PROPOSED WALKWAY OR VEHICULAR ROADWAY PRIOR TO INSTALLATION. COORDINATE SLEEVE LOCATIONS WITH IRRIGATION AND LIGHTING CONTRACTORS PRIOR TO INSTALLATION.

1.16) DO NOT CLOSE OR OBSTRUCT ANY STREET, SIDEWALK, ALLEY OR PASSAGEWAY WITHOUT PRIOR NOTIFICATION AND PERMISSION. CONDUCT OPERATIONS AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE USE ORNAMENTALLY MADE OF ROADS, DRIVEWAYS, ALLEYS, SIDEWALKS OR OTHER FACILITIES NEAR ENOUGH TO THE WORK TO BE EFFECTED THEREBY.

Planting Materials:

2.1) PLANTING MATERIAL ITEMS IN SECTION 2.0 ARE TO BE INCORPORATED DURING PLANT INSTALLATION UNLESS OTHERWISE DEMELED UNNECESSARY IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. SEE SECTION 3.1.

MULCH - MULCH WILL BE DOUBLE-SHREDDED PINE BARK MULCH.
- TREES AND SHRUBS SHALL RECEIVE AN EVEN 3" MULCH LAYER.

GROUNDCOVERS, PERENNIALS AND ANNUALS SHALL RECEIVE AN EVEN 2" MULCH LAYER.

MANURE - TO BE WELL ROTTED, ODOLESS, UNLEACHED COW MANURE, CONTAINING NOT MORE THAN 1.5% BEDDED MATERIALS SUCH AS STRAW, WOOD CHIPS OR SHAVINGS, AGED NOT LESS THAN TWO YEARS OLD.

HERBICIDE - A PRE-EMERGENCE WEED KILLER IS TO BE USED ON ALL LAWN AND PLANTING AREAS PRIOR TO INSTALLATION AS PER MANUFACTURERS SPECIFICATIONS. *HERBICIDES ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.

FERTILIZER - ALL TREES AND SHRUBS TO HAVE SLOW RELEASE PACKET OR PELLET PLACED INTO THE PLANT PIT WITH A MINIMUM ANALYSIS OF 10-10-10. ALL GROUNDCOVERS, PERENNIALS AND ANNUALS ARE TO RECEIVE A BROADCAST APPLICATION OF A 14-14-14 FERTILIZER 3 LB PR/100 SQ. FT. APPLY AS PER MANUFACTURERS INSTRUCTIONS. *FERTILIZERS ARE NOT TO BE APPLIED RESTRICTED CONSERVATION AREAS.

TOPSOIL: ACCEPTABLE TOPSOIL SHALL BE FERTILE, FRAGILE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER DANGEROUS MATTER OVER ONE INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT. IN SITUATIONS WHICH REQUIRE A CUSTOM TOPSOIL OR STRUCTURAL SOIL, THE SOIL MIXTURE SPECIFICATION WILL BE PROVIDED BY THE LANDSCAPE ARCHITECT.

SOIL AMENDMENTS: APPLY AS NECESSARY ACCORDING TO SOIL TEST RESULTS, AS PER MANUFACTURERS SPECIFICATIONS.

ANTI-DESIDCANT - "WILT PRUP" NCF OR EQUAL APPLY AS PER MANUFACTURERS SPECIFICATIONS.

Plant Installation:

3.1) SOIL TESTING: LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS PRIOR TO ANY PLANT INSTALLATION TO DETERMINE ANY NECESSARY AMENDMENTS TO THE EXISTING SOIL CONDITIONS FOR SEEDING AND PLANTING. THE ANALYSIS WILL ALSO BE REQUIRED FOR ESTABLISHING THE FERTILIZER PROGRAM REQUIRED. COORDINATE RESULTS AND PROVIDE WRITTEN RECOMMENDATIONS TO HAWK DESIGN, INC. 15 DAYS PRIOR TO INSTALLATION.

3.2) ALL PLANTS SHALL BE TRANSPORTED TO THE SITE IN COVERED TRUCKS, TARPAILIN COVERS SHALL BE UTILIZED TO PREVENT WIND DAMAGE OF LOAD.

3.3) DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS MOIST. DO NOT STORE PLANT MATERIAL ON PAVED AREAS. ROOTS OR BALLS SHALL BE PROTECTED FROM THE SUN OR DRYING WINDS. AS REQUIRED BY TEMPERATURE OR WIND CONDITIONS, APPLY ANTI-DESIDCANT EMULSION TO PREVENT DRYING OUT OF PLANT MATERIALS.

3.4) CONDITIONS FOR PLANT REJECTION:
A) REJECT PLANTS WHEN BALL OF EARTH SURROUNDING ROOTS HAS BEEN CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING.

B) WHEN BURLAP, STAVES AND ROPES REQUIRED IN CONNECTION WITH TRANSPLANTING HAVE BEEN DISPLACED PRIOR TO ACCEPTANCE.

C) WIND DAMAGED PLANT MATERIAL FROM POOR TARPAILIN COVER PROCEDURES ARE SUBJECT TO REJECTION.

3.5) ALL PLANT MATERIAL WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY, SHALL BE SET ON THE GROUND IN A SHADED LOCATION AND SHALL BE TEMPORARILY PROTECTED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. TEMPORARY WATERING OR IRRIGATION SHALL BE INCORPORATED AND REGULARLY CONDUCTED ON PLANTINGS IN HOLD AREAS.

3.6) IN CASE OF CONFLICTS DURING CONSTRUCTION WITH UTILITIES, ROCK MATERIALS, TREE ROOTS OR OTHER OBSTRUCTIONS FOR THE EXCAVATION OF SHRUB BEDS AND TREE PITS, CONTACT LANDSCAPE ARCHITECT FOR APPROVED ALTERNATE LOCATIONS.

3.7) SOIL PERMEABILITY: TEST DRAINAGE OF PLANTING BEDS AND PITS BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF WATER FOR MORE THAN 24 HOURS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

3.8) SOIL EXCAVATIONS:
A) EXCAVATE TREE PITS AND SHRUB BEDS TO DEPTHS REQUIRED BY PLANTING DETAILS. ALL PITS SHALL BE CIRCULAR IN OUTLINE, EXCEPT FOR WHOLE BEDS. SEE APPROPRIATE PLANTING DETAILS.

B) SOIL EXCAVATIONS FOR BALLED & BURLAP AND CONTAINER PLANTINGS MUST BE NO LESS THAN 2X ROOT BALL DIAMETER. SEE PLANTING DETAILS. IF QUESTIONABLE SUBSURFACE SOIL CONDITIONS EXIST SUCH AS POOR DRAINAGE CONDITIONS, RUBBLE OR OBSTRUCTIONS, REPORT TO THE LANDSCAPE ARCHITECT AND CONSTRUCTION MANAGER BEFORE PLANTING.

3.9) GRADING:
A) VERIFY GRADES PRIOR TO PLANTING. THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLANT PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL GRADING.

B) POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM AND AROUND BUILDINGS (REFER TO ENGINEERS GRADING PLANS). REPORT ANY CONFLICTS TO HAWK DESIGN, INC. PRIOR TO INSTALLATION.

C) FINISH GRADE OF PLANTINGS SHALL BE EQUIVALENT TO FORMER EXISTING GRADE OF PLANT IN THE NURSERY.

3.10) BALLED AND BURLAP (B&B) MATERIALS:
A) CUT WIRE BASKETS ONCE IN THE PLANT PIT AND PEEL WIRE BACK.

B) TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL.

Plant Installation Cont'd

3.11) CONTAINER GROWN STOCK: SHALL BE REMOVED FROM CONTAINER BY CUTTING CONTAINER AWAY TO AVOID ROOT DAMAGE TO PLANT ROOT SYSTEM. IF PLANT ROOT IS BOUND, SLICE ROOT BALLS APPROXIMATELY 2" DEEP WITH KNIFE OR SHARP SPADE.

3.12) DO NOT USE MUDDY OR FROZEN SOIL TO BACKFILL PLANTINGS.

3.13) WATERING: THOROUGHLY WATER UNTIL SOIL IS SATURATED AROUND ALL TREES AND SHRUBS AFTER PLANTING AND THROUGHOUT THE TIME PERIOD UNTIL FINAL ACCEPTANCE FROM CLIENT. DURING DRY CONDITIONS, WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT-FREE CONDITION.

3.14) PRUNING: TREES SHALL BE PRUNED TO BALANCE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR NATURAL CHARACTER AND TYPICAL GROWTH HABIT. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SUCKER GROWTH. ALL CUTS TO BE FLUSH WITH TRUNK. DO NOT CUT A LEADER. THE LANDSCAPE ARCHITECT WILL REJECT ALL PLANTS DISFIGURED BY POOR PRUNING PRACTICES. ALL PRUNING CUTS SHALL REMAIN UNPAINTED.

3.15) STAKING AND GUYING: ALL TREES TO BE STAKED AND GUYED WITHIN 48 HOURS OF PLANTING. METHODS AND MATERIALS FOR STAKING AND GUYING ARE ILLUSTRATED IN INDIVIDUAL PLANTING DETAILS. NEATLY FLAG ALL GUY WIRES WITH ROT RESISTANCE YELLOW TREE MARKING RIBBON.

3.16) STAKE OUT PLANT LOCATIONS: PRIOR TO PLANTING THE CONTRACTOR SHALL LAYOUT THE EXTENT OF THE PLANT BEDS AND PROPOSED LOCATIONS FOR B&B PLANTS FOR REVIEW BY THE OWNER AND LANDSCAPE ARCHITECT.

3.17) PLANTING FIELD ADJUSTMENTS:
A) THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES.

B) LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS OR UNDER BUILDING OVERHANGS. NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES IN PLANTING PLAN VS. FIELD CONDITIONS.

C) SHRUBS PLANTED NEAR HVAC UNITS ARE TO BE LOCATED SO THAT SHRUBS AT Maturity WILL MAINTAIN ONE FOOT (1') AIRSPACE BETWEEN THE UNIT AND THE PLANT. ANY PLANTING SHOWN ADJACENT TO CONDENSER UNITS SHALL BE PLANTED TO SCREEN THE UNITS. SHOULD THE CONDENSER UNITS BE INSTALLED IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE PLAN, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL THE MATERIAL AROUND THE CONDENSERS AND ADJUST THE OTHER PLANTING.

3.18) PLANT BED EDGES/LINES: GROUPS OF SHRUBS, PERENNIALS AND GROUNDCOVERS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE, FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN 4 FEET OF PLANT BEDS SHALL SHARE THE SAME MULCH BEDS.

3.19) A.D.A. - THE AMERICAN DISABILITIES ACT STANDARDS REQUIRE THAT A 7 FOOT VERTICAL CLEARANCE BE MAINTAINED FROM TREE BRANCHES TO FINISHED GRADE WHERE PEDESTRIANS SIDEWALKS AND TORIAL TRAILS ARE LOCATED. THE CONTRACTOR IS TO ADJUST TREE PLANTINGS IN FIELD TO SLIGHTLY MINIMIZE BRANCH OVERHANG AND COMPLY WITH THE A.D.A. ACT.

3.20) TREE SPACING MINIMUMS: TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM RETAINING WALLS AND WALKS WITHIN THE PROJECT. IF A CONFLICT ARISES BETWEEN ACTUAL SIZE OF AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.

3.21) CONDITIONS FOR PLANT REJECTION:
A) REJECT PLANTS WHEN BALL OF EARTH SURROUNDING ROOTS HAS BEEN CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING.

B) WHEN BURLAP, STAVES AND ROPES REQUIRED IN CONNECTION WITH TRANSPLANTING HAVE BEEN DISPLACED PRIOR TO ACCEPTANCE.

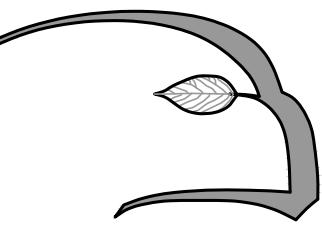
C) WIND DAMAGED PLANT MATERIAL FROM POOR TARPAILIN COVER PROCEDURES ARE SUBJECT TO REJECTION.

3.22) PLANTING AREA PROTECTION: THE CONTRACTOR SHALL ERECT SUITABLE SIGNS AND BARRICADES NOTIFYING THE PUBLIC TO KEEP OFF THE PLANTED AREAS UNTIL WELL ESTABLISHED. ANY TRAFFIC DAMAGE AND VANDALISM THAT MAY OCCUR PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE REPAIRED AND RESEDED AT THE OWNER'S EXPENSE. ANY DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.

4.1) LAYING OF SOD: A KENTUCKY BLUEGRASS SOD MIX - BY LOCAL SOURCE AS SELECTED BY CONTRACTOR, SHALL BE FRESHLY CUT FROM THE SAME FIELD WITH 1/2"-3/4 INCHES OF SOIL. SOD SHALL BE LAID IMMEDIATELY WITH ANY SOIL BEING UNROLLED GRASS SIDE UP AND KEPT WATERED. LAY COURSES TIGHTLY TOGETHER WITHOUT OVERLAPPING WITH THE JOINTS STAGED. AFTER SODDING IS COMPLETE, ROLL LIGHTLY. THE CONTRACTOR SHALL WATER THE SODDED AREAS TO A DEPTH OF AT LEAST 5 INCHES AFTER THE SODDING PROCESS. OWNER SHALL THEN BE RESPONSIBLE FOR WATERING. THE FREQUENCY SHALL BE DETERMINED BY RAIN FAL AND WINDS WITH THE UPPER TWO OR THREE INCHES OF SOIL NOT DRYING OUT MARKEDLY.

4.2) SODDED AREA: INSPECTION AND ACCEPTANCE: FOUR WEEKS AFTER CONTRACTOR COMPLETES INSTALLATION, LANDSCAPE ARCHITECT SHALL INSPECT THE LAWN TO DETERMINE THE ACCEPTABILITY OF THE SODDED AREAS FAILING TO SHOW ADEQUATE ROOTING INTO THE SUBSOIL. OVERLAPPING, COURSE SEPARATION, UNLEVELNESS OF THE SURFACE, UNLEVEL COURSE COLOR AND EXCESSIVE BROADLEAF WEED CONTENT SHALL BE REPAIRED. THE COST SHALL BE BORNE BY THE CONTRACTOR EXCEPT WHERE VANDALISM OR NEGLECT ON THE PART OF OTHERS NOT UNDER THE CONTRACTOR'S CONTROL HAS RESULTED IN DAMAGE.

4.3) SODDED AREA: INSPECTION AND ACCEPTANCE: FOUR WEEKS AFTER CONTRACTOR COMPLETES INSTALLATION, LANDSCAPE ARCHITECT SHALL INSPECT THE LAWN TO DETERMINE THE ACCEPTABILITY OF THE SODDED AREAS FAILING TO SHOW ADEQUATE ROOTING INTO THE SUBSOIL. OVERLAPPING, COURSE SEPARATION, UNLEVELNESS OF THE SURFACE, UNLEVEL COURSE COLOR AND EXCESSIVE BROADLEAF WEED CONTENT SHALL BE REPAIRED. THE COST SHALL BE BORNE BY THE CONTRACTOR EXCEPT WHERE VANDALISM OR NEGLECT ON THE PART OF OTHERS NOT UNDER THE CONTRACTOR'S CONTROL HAS RESULTED IN DAMAGE.



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1. 11/9/23 Per peer review comments

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Middleton, Massachusetts

Prepared for: Villbridge Development LLC of Needham, MA

Drawn By: BNL Checked By: TEM

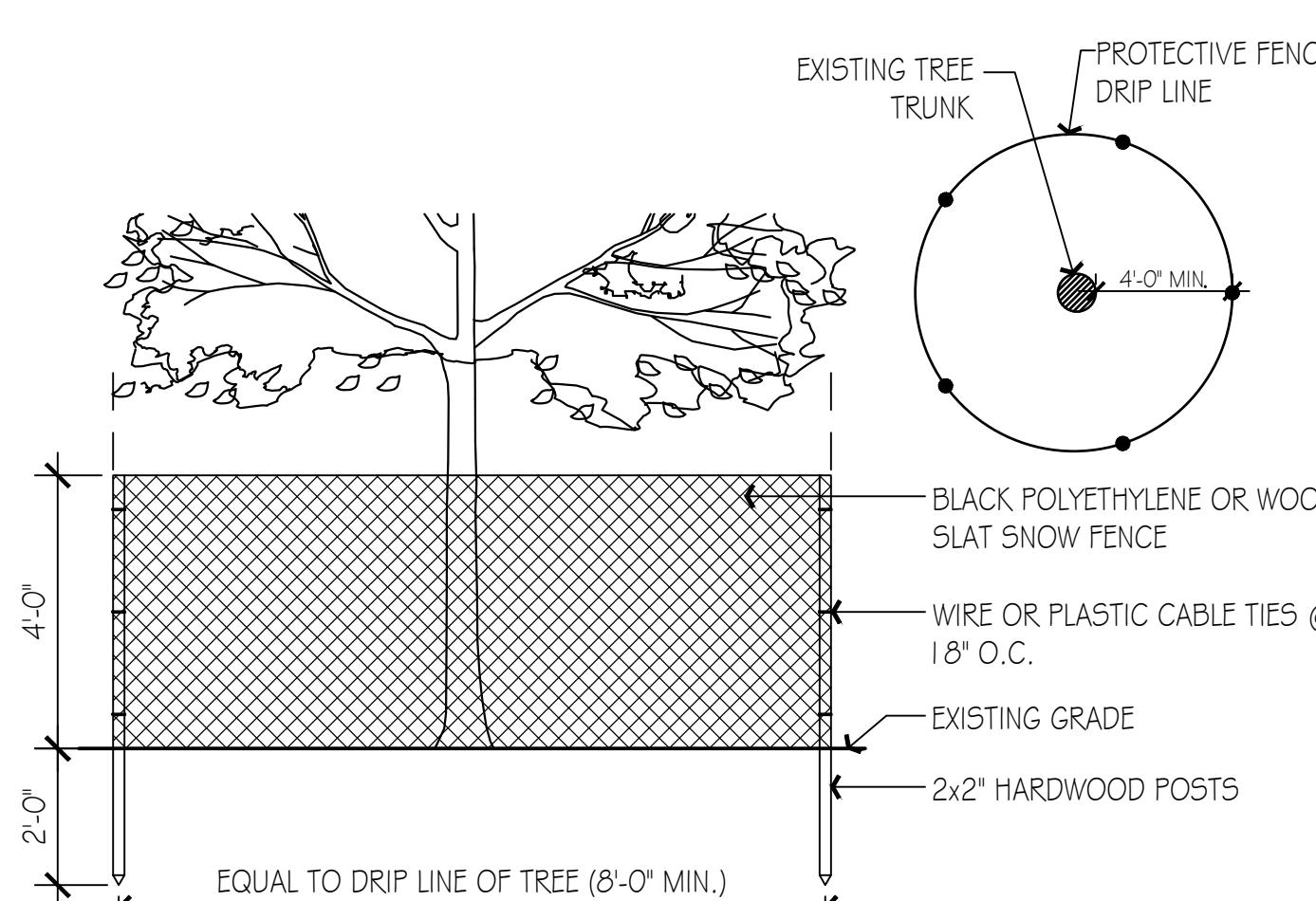
**Planting Details
and
Plant Schedule**

Scale: As Noted

Sheet: LD2



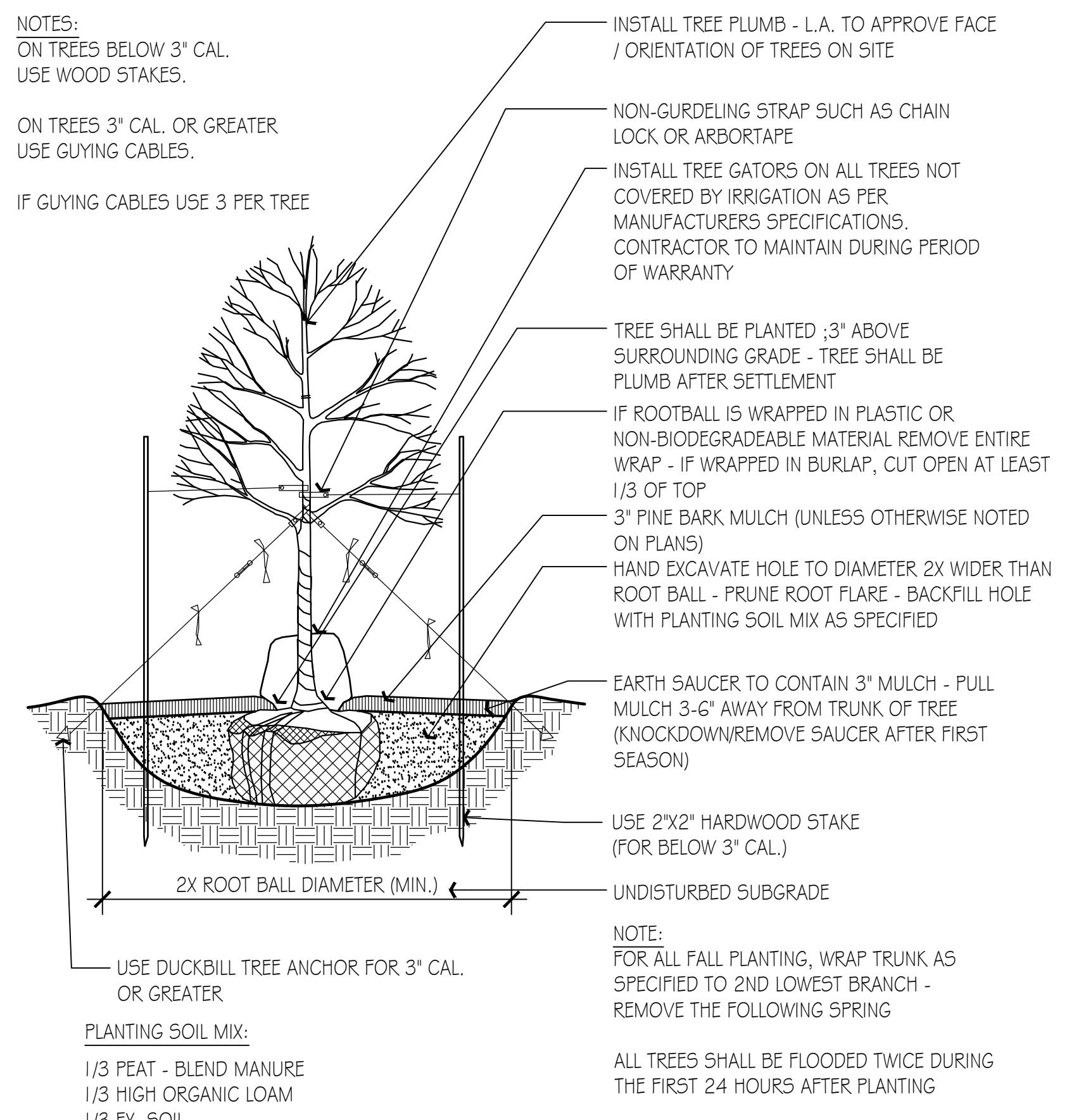
Base information provided electronically by:
Hancock Associates of Boston, MA



NOTES:
1. PROTECTIVE FENCE TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
2. NO TIE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
4. DO NOT NAIL BOARDS OR FENCING TO TREES DURING CONSTRUCTION.
5. ANY EXCAVATING WITHIN DRIFLINE MUST BE APPROVED BY LANDSCAPE ARCHITECT AND MUST BE HAND-DUG. CONTRACTOR SHALL NOT CUT ANY ROOTS AND/OR BRANCHES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
6. ROOTS EXPOSED AND/OR DAMAGED DURING GRADING & CONSTRUCTION OPERATIONS SHALL BE CUT OFF CLEANLY INSIDE THE EXPOSED OR DAMAGED AREA AND TOPSOIL PLACED OVER THE ROOTS IMMEDIATELY. FEEDER ROOTS SHALL NOT BE CUT IN AN AREA INSIDE DRIP LINE OF THE TREE BRANCHES.
7. ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
8. STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
9. INSPECT FENCE ON PERIODIC BASIS AND REPAIR DAMAGE IMMEDIATELY.

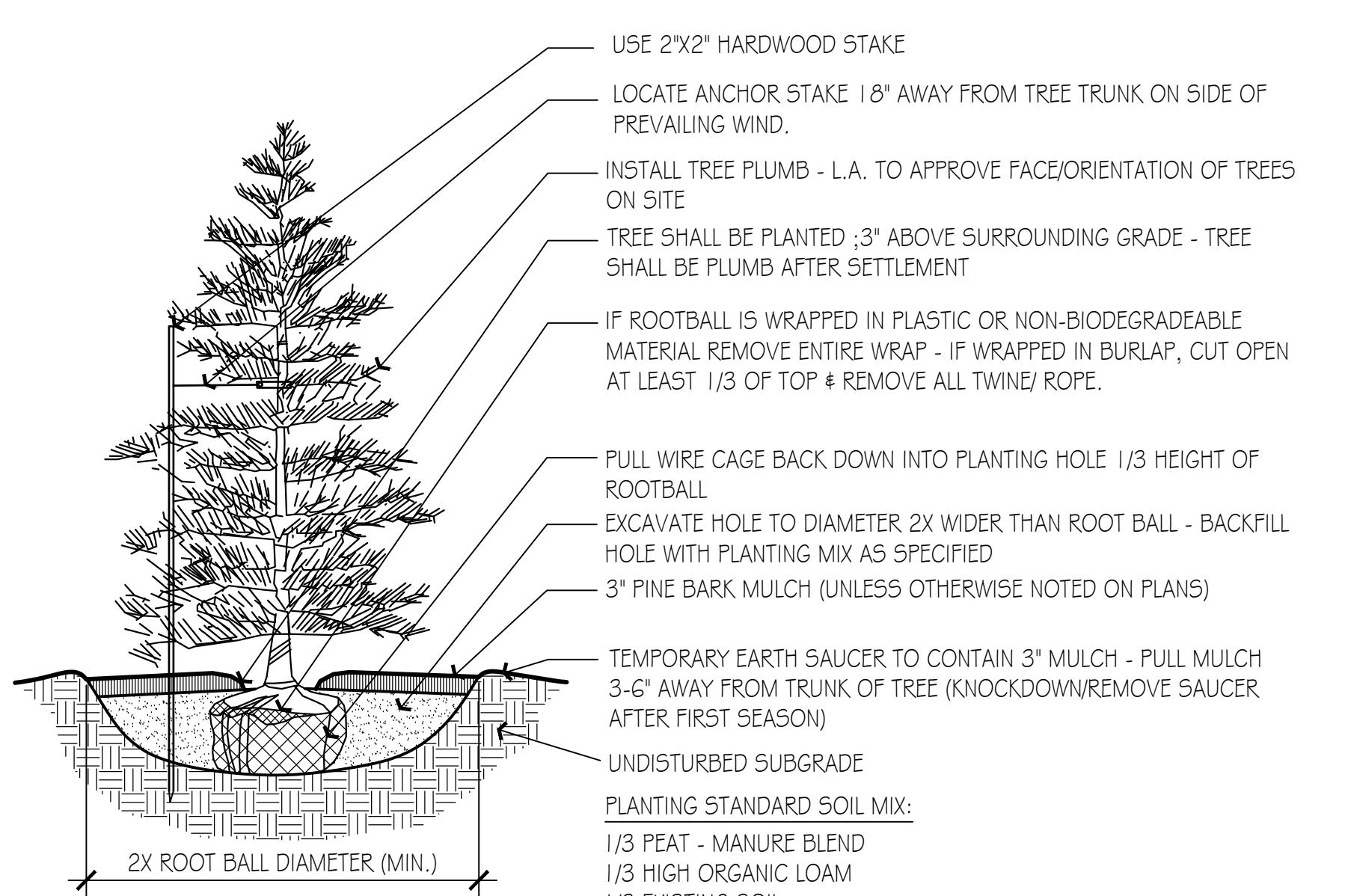
1 Tree Protection

Scale: N.T.S.



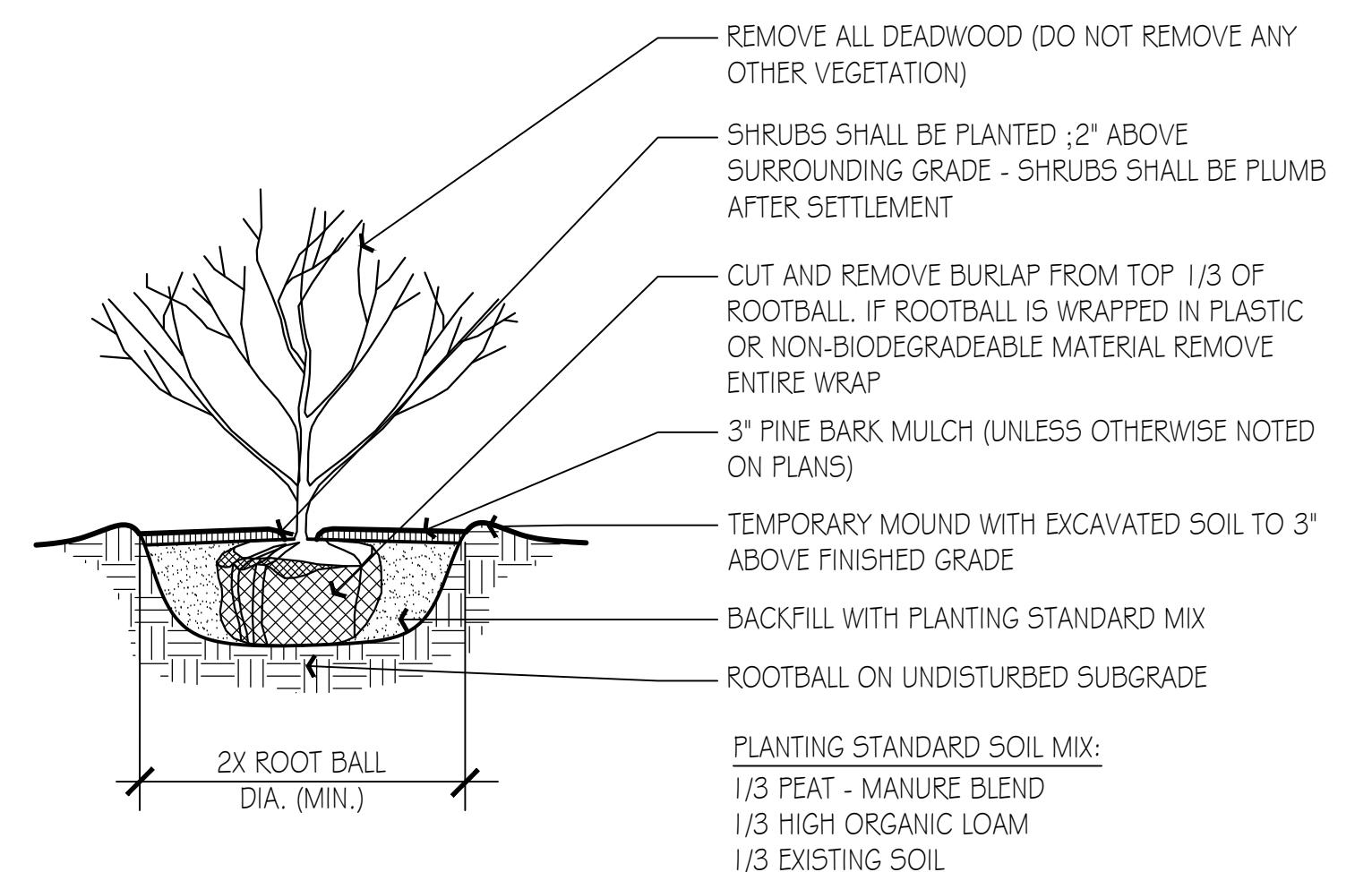
2 Deciduous Tree Planting

Scale: N.T.S.



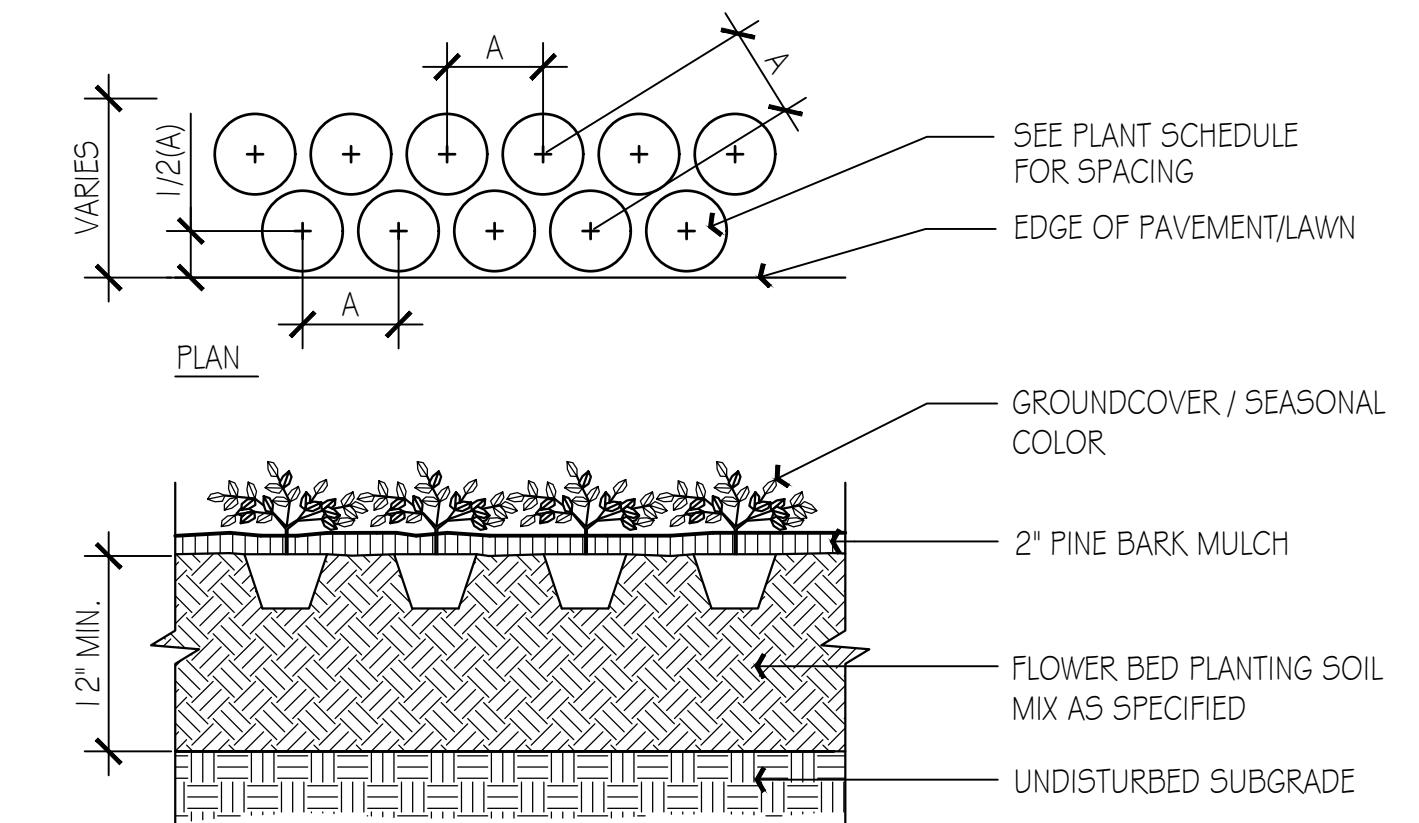
3 Coniferous Tree Planting

Scale: N.T.S.



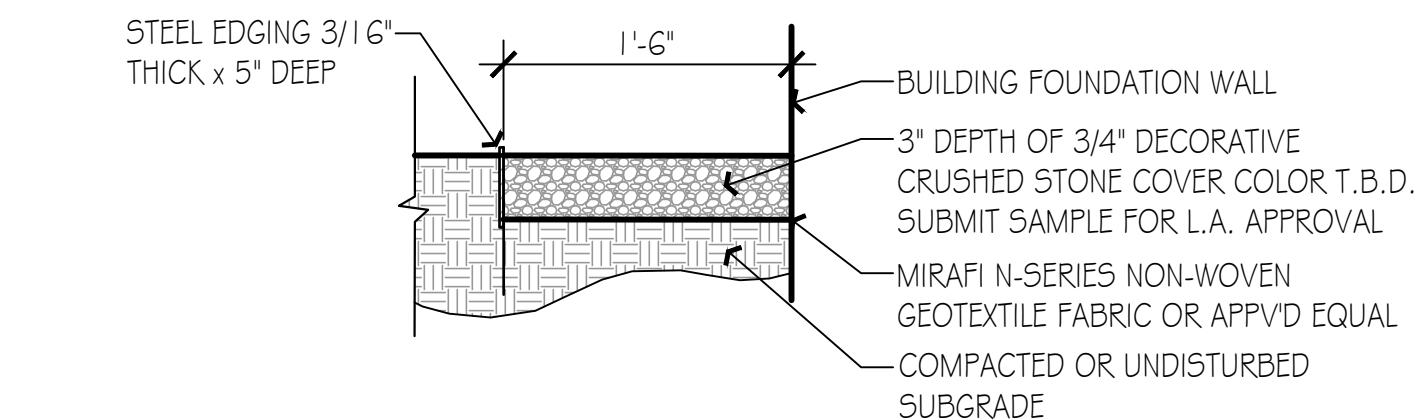
4 Shrub Planting

Scale: N.T.S.



5 Perennial, Groundcover & Seasonal Color Planting

Scale: N.T.S.



6 Metal Edged Crushed Stone Fire Protection Strip

Scale: N.T.S.

SCHEDULE OF TOPSOILS & ADDITIVES

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	1 2"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	1 2"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PEATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 1/2-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOD & SEED	6"	6" SCREENED LOAM
PITS/TREE WELLS "STANDARD MIX" FOR BACKFILL	1 2"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANT SIZE
TREES						
AR-RS	7	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	B & B	3-3.5" CAL.	
GT-S	1	Gleditsia triacanthos 'Inermis' 'Shademaster'	Shademaster Honey Locust	B & B	3-3.5" CAL.	
PA-B	4	Platanus x acerifolia 'Bloodgood'	Bloodgood London Plane Tree	B & B	3-3.5" CAL.	
UA-P	6	Ulmus americana 'Princeton'	Princeton American Elm	B & B	3-3.5" CAL.	
ZS-GV	1	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	B & B	3-3.5" CAL.	
EVERGREEN TREES						
TO-HW	26	Thuya occidentalis 'Hetz Wintergreen'	Hetz Wintergreen Arborvitae	B & B	7-8" HT.	
FLOWERING TREES						
CF-CP	1	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	B & B	2-3.5"-CAL.	
PS-C	4	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	B & B	2-2.5"-CAL.	
SHRUBS						
CA-H	3	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	Cont.	18-24" HT.	
CS-K	7	Cornus sericea 'Kelseyi'	Kelseys Dwarf Red Twig Dogwood	Cont.	18-24" HT.	
DP	38	Deschampsia flexuosa	Wavy Hair Grass	2 GAL		
EF-EG	17	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus	Cont.	18-24" HT.	
IC-GL	32	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	B & B	3-3.5" HT.	
IC-ST	22	Ilex crenata 'Soft Touch'	Soft Touch Japanese Holly	Cont.	18-24" SPD.	
IG-S	30	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	Cont.	2-2.5" HT.	
JC-S	3	Juniperus chinensis 'Spartan'	Spartan Juniper	B & B	4-4.5" HT.	
JH-BH	22	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	Cont.	18-24" SPD.	
PJ-C	5	Pieris japonica 'Cavatina'	Cavatina Japanese Pieris	Cont.	2-2.5" HT.	
PO-C	2	Pittosporum opacum 'Copperleaf'	Copperleaf Pittosporum	B & B	3-3.5" HT.	
RH-CW	16	Rhododendron x 'Cunningham's White'	Cunningham White Rhododendron	B & B	2-2.5" HT.	
RH-RG	7	Rhododendron x 'Purple Gem'	Purple Gem Rhododendron	Cont.	18-24" SPD.	
RH-PIM	8	Rhododendron x 'P.J.M.'	P.J.M. Rhododendron	B & B	2-2.5" HT.	
RH-S	7	Rhododendron x 'Scintillation'	Scintillation Rhododendron	B & B	2-2.5" HT.	
SS-SO	28	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	2 GAL		
TM-H	12	Taxus x media 'Hicksii'	Hicks Yew	B & B	4-4.5" HT.	
TM-T	23	Taxus x media 'Talisman'	Talisman Angle-Japanese Yew	B & B	2-2.5" SPD.	
TO-EG	15	Thuya occidentalis 'Smaragd'	Emerald Green Arborvitae	B & B	4-4.5" HT.	
VD-BM	15	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	B & B	4-4.5" HT.	
WF-MM	17	Weigela florida 'My Monet'	My Monet Weigela	Cont.	15-18" SPD.	
WF-WR	24	Weigela florida 'Wine & Roses'	Wine & Roses Weigela	B & B	2-2.5" HT.	
PERENNIALS / GROUND COVERS						
HE-PM	28	Hemerocallis x 'Pardon Me'	Pardon Me Daylily	4 QT.		
LM-V	26	Liriopis muscari 'Variegata'	Variegated Lilyturf	4 QT.		

Base information provided electronically by:
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